

Shelby City Council Agenda
Regular Meeting
April 4, 2022 at 6:00 p.m.

City Hall Council Chamber
300 South Washington Street
Shelby, North Carolina

Welcome and Call to Order by Mayor O. Stanhope Anthony III

Invocation

Pledge of Allegiance

A. Approval of Agenda

Discussion and revision of the proposed agenda, including consent agenda; adoption of an agenda.

- 1) Motion to adopt the agenda as proposed or amended

B. Special Presentations:

- 1) Uptown Shelby Association (USA) update - Audrey Whetten Godfrey, Executive Director 1

C. Consent Agenda:

Prior to approval and adoption of the agenda, a Council Member may move an item from the Consent Agenda to the regular agenda. Items remaining on the Consent Agenda will be considered collectively through a single motion and vote.

- 1) Approval of the Minutes of the Regular Meeting of March 21, 2022 2 - 23
- 2) Approval of City of Shelby's Application for United States Department of Transportation Rebuilding American Infrastructure with Sustainability and Equity (RAISE) Grant Program: Resolution No. 26-2022 24 - 27
- 3) Approval of a Resolution Authorizing the Selection of REI Engineers, Inc., Based on Qualifications for Architectural Design for City Hall Roof Replacement Project: Resolution No. 27-2022 28 - 83

4) Management Reports:	84 - 123
a. Monthly Financial Summary – February 2022	
b. Planning and Development Monthly Summary – February 2022	
D. Unfinished Business:	124
None	
E. New Business:	
1) Resolution Authorizing Approval to Submit Grant Applications for State of North Carolina ARPA Funds for Water Resources Planning Projects: Resolution No. 28-2022	125 - 127
2) Consideration of appointments to City advisory boards and commissions:	128 - 133
a) Shelby-Cleveland County Regional Airport Advisory Board	
3) FIRST READING: An Ordinance Amending Chapter 30 of the City of Shelby Code of Ordinances: Ordinance No. 20-2022	134 - 137
F. City Manager’s Report	138
G. Council Announcements and Remarks	138
H. Adjournment:	138
<i>To adjourn a meeting of City Council, a majority of the Council Members must vote for a motion to adjourn.</i>	
1) Motion to adjourn	

City of Shelby
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B. Special Presentations:

Agenda Item B-1

- 1) Uptown Shelby Association (USA) update – Audrey Whetten Godfrey,
Executive Director

Presenting: (Audrey Whetten Godfrey, Uptown Shelby Association)

- Documentation provided at Council meeting

City Manager's Recommendation / Comments

This time is scheduled on your agenda to allow Audrey Whetten Godfrey, Executive Director of Uptown Shelby Association, to update the City Council. I've asked Mrs. Godfrey to restart her quarterly updates to City Council. As you all know the City contracts with the Uptown Shelby Association to provide economic development activities in the uptown Shelby Municipal Service District specifically related to the Main Street approach.

City of Shelby
Agenda Item Summary
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C. Consent Agenda:

Agenda Item: C-1

- 1) Approval of the Minutes of the Regular Meeting of March 21, 2022

Consent Agenda Item: (Carol S. Williams, Interim City Clerk)

Summary of Available Information:

Please read and offer changes as you deem necessary.

- Minutes of the Regular Meeting of March 21, 2022

City Manager's Recommendation / Comments

Approve the minutes as presented or as amended by the Mayor and City Council via the Consent Agenda.

MINUTES

Regular Meeting
City Hall Council Chamber

March 21, 2022
Monday, 6:00 p.m.

Present: Mayor O. Stanhope Anthony III, presiding; Council Members David W. White, David Causby, Violet Arth, Charles Webber, Andrew L. Hopper Sr., and Emilie Bullock.; City Manager Rick Howell, MPA, ICMA-CM, Assistant City Manager Justin S. Merritt, MPA, Assistant City Manager of Utilities Benjamin (Ben) Yarboro, City Attorney Andrea Leslie-Fite, Interim City Clerk Carol Williams, Public Information and Communications Officer, Chip Nuhrah, Director of Human Resources Deborah (Deb) Jolly, Police Chief Jeffrey (Jeff) Ledford, Director of Planning and Development Services Walter (Walt) Scharer, AICP, and Jennipher H. Harrill, Social Media Manager, Blue Eyes Media Connections

Mayor Anthony called the meeting to order at 6:00 p.m. and delivered the invocation.

Ms. Arth led the Pledge of Allegiance.

A. Approval of agenda:

- 1) Motion to adopt the proposed agenda

ACTION TAKEN: Upon a motion by Mr. White, City Council voted unanimously to approve the agenda as presented.

B. Public Comment:

- 1) Burney Drake who resides at 1024 Hunter Valley Road, Shelby, North Carolina thanked Council for their years of support of Habitat for Humanity. He said it has been a good partnership and was appreciative of staff being so easy to work with, especially Director of Planning, Walt Scharer.

C. Public Hearings:

- 1) Consideration of a proposed ordinance amending the zoning map of the City of Shelby, North Carolina (1712 South Lafayette St): Ordinance No. 12-2022

Mr. Scharer introduced a zoning map amendment for property located at 1712 South Lafayette Street from R10 zoning district to General Business (GB2) zoning district to operate a halfway house in the existing structure.

Mr. Scharer stated that the amendment is inconsistent with the Shelby Comprehensive Land Use Plan but is reasonable with the other uses in the area. The Planning and Zoning Board and staff recommend approval of this proposed zoning map amendment.

Mayor Anthony sought clarification from Mr. Scharer that a change in zoning to General Business could allow many types of businesses to operate at that address in the future. Mr. Scharer stated that conceivably that could happen but there were other factors to consider. Mayor Anthony stated that if a change in zoning occurs then Council needs to understand that all the uses under General Business could apply.

Ms. Arth inquired as to why the applicant asked for such a broad rezoning. Mr. Scharer stated he would have to yield that question to the applicant.

Mayor Anthony opened the public hearing at 6:09 p.m. and invited comments from the public.

Bobby Houze who resides at 133 Mullinax Drive, Grover, North Carolina spoke in favor of the proposed rezoning amendment for the property located at 1712 South Lafayette Street. Mr. Houze was Cedric Dean's (the applicant) pastor for 25 years. The halfway house is vital to the community to aid released inmates and help them get back on their feet. Mr. Houze spoke of the many books Mr. Dean wrote while serving time in prison and mentioned the program Mr. Dean started while in prison called SAVE. Mr. Houze further stated that Mr. Dean has been a vital part of the Mecklenburg County community and had even gone to the State of the Union. Mr. Houze stated many people were in attendance tonight in favor of the rezoning. Mayor Anthony requested that those in favor of the rezoning to please raise your hand. Mr. Houze quoted a couple scriptures and asked the Council to consider the rezoning.

Mrs. Rachel Hamrick who resides at 2014 Poplar Circle, Shelby, North Carolina spoke against the rezoning. She stated she understood the need for a halfway house for men who have been released from prison. But she had a few questions about the location of this one. First, safety is an issue. Mrs. Hamrick stated within one mile of the proposed address there are two elementary schools, James Love and North Shelby which have playgrounds that are used daily. And the outdoor areas for Zoar Baptist Church back up to the property lines of 1712 South Lafayette Street. Mrs. Hamrick asked what safety precautions are in place to protect all these children? Secondly, Brittain Village is an established residential single-family neighborhood since

1965. Many families have small children. Mrs. Hamrick asked if the residents of the halfway house would be allowed to roam freely throughout the neighborhood? Thirdly, Mrs. Hamrick asked what will the impact of having this halfway house have on the property values of the surrounding neighborhoods? She asked Council to please give attention to these concerns before they make their decision.

Mayor Anthony reminded everyone that Council is considering all the uses of the GB2 classification, not here tonight to specifically address the halfway house. Council must decide on the zoning of this property as any of the uses of the General Business classification.

Pamela Switzer who resides at 836 East Main Street, Shelby, North Carolina spoke in opposition to the rezoning. Ms. Switzer stated that even before tonight's hearing the halfway house was in full operation with residents and even hosted an open house. She stated this is in violation of the current zoning. She further stated that the community does not need to be jeopardized again; not too long ago two large apartment complexes were built near this neighborhood which resulted in houses being broken into, cars being broken into and an increase in vandalism. She stated that the neighborhood was a peaceful place to live and has many senior citizen and young families that cannot afford to relocate. Ms. Switzer stated that sex offenders would be possible residents of the halfway house and she was concerned about the church and ballfield adjacent to this property. This would put children in harm's way. She asked Council to consider voting against the rezoning because it would do more harm than good to the community. Ms. Switzer concluded by saying that in North Carolina an inmate's chances of returning to prison is 40 percent.

Eddie Winecoff who resides at 200 Harbor Point Drive, Cherryville, North Carolina spoke as a representative of Zoar Baptist Church which adjoins 1712 South Lafayette Street. The church has had a longstanding relationship with the Ellis family who were the previous owners of the property. Mr. Winecoff stated that when the property was sold to Mr. Dean the church initially had their share of concerns as anyone would when new neighbors move in. The Deacon body of the church spent many hours researching Mr. Dean and his plans before meeting with him. Safety and protection of the congregation were the church's main concerns. Over the last month, the Deacons have met with Mr. Dean several times and they were able to tour the house; they gained knowledge of the plans Mr. Dean had in place; which include jobs for men, cameras on site, federal probation rules and regulations, and a supervised control environment for former inmates who are looking to transition their way back into society. Mr. Winecoff stated that Zoar is a mission minded church and that as a church they could not be followers of Christ and stand against anyone trying to better themselves when all they may need is a job, a warm bed and food to help them get back

on their feet. Mr. Winecoff concluded by stating that society needs to do all we can to stop the cycle of prison recall and supporting Cedric Dean is an important step in fulfilling that mission.

Krista Ford who resides at 112 Holly Hill Road, Shelby, North Carolina voiced her concerns with the property at 1712 South Lafayette Street. She stated that people walk daily in the neighborhood and will ask how people are and welcome new residents into the neighborhood. The residents look after each other's belongings and take care of each other and respect each other. The families are lower to middle class and are law abiding citizens. They don't live in a community that has a Homeowners Association or has 24/7 security. Ms. Ford stated that concern, fear and anxiety has set in. She feels as though her child can no longer play outside and she has to explain why. Ms. Ford stated that the community was not informed ahead of renovation of the property and now there are two sex offenders already living at the house before Council's approval. She further stated that she was concerned about the schools in the area, several nearby churches, and that residents might start moving away from the neighborhood. She asked if the halfway house was a necessity to our area or will it substantially reduce the safety and value of the homes. She asked Council to consider the people in the community and the lives they have built.

Mr. Cedric Dean (the applicant) who resides at 1712 South Lafayette Street stated that he respects and loves Jesus Christ, his neighbors, and himself. He stated that there are 356 sex offenders registered to Cleveland County with some registered to the Wal-Mart parking lot and one registered to City Hall. Mr. Dean stated he is trying to make this community safer by taking men in and giving them opportunities instead of them sleeping on the street.

Mayor Anthony reminded Mr. Dean to speak to Council instead of the audience because it was Council that was going to make the decision. Mayor Anthony also stated to Mr. Dean that the hearing was about the rezoning of the property and not Mr. Dean's character.

Mr. Dean stated that he could leave the halfway house and leave Cleveland County but that he would be back because there are men being failed by the City/Cleveland County. He praised Zoar Baptist Church for bringing the men to Jesus. Mr. Dean also praised Sandra Jenkins for helping the men get jobs. Mr. Dean concluded by stating that he has paid his debt to society and that he's trying to help other men reestablish themselves into society.

Ms. Charlene Henderson who resides at 6814 Hidden Forest Drive, Charlotte, North Carolina is in favor of the rezoning. She is running for City Council in Charlotte and is also the Vice-President of SAVE. Ms. Henderson encouraged Mr. Dean to open the house up for everyone to see what was going on and to hear about his plans. Ms. Henderson said people chose not to come look at

the facility. She is concerned about the homeless situation in Shelby. She asked Council and the community to give Mr. Dean the resources he needs to make sure this facility and others like it succeed.

Mayor Anthony reminded the audience again that Council is only voting on the zoning of the property not the specific uses of this property. Mayor Anthony stated that it sounds like a wonderful program Mr. Dean has established but the voting only relates to the zoning, not the merits of the program.

Ms. Tiawana Brown who resides at 8924 Inverness Bay Road, Charlotte, North Carolina stated that by the time she was 19 years old she had been arrested 28 times. She spent time in prison and unfortunately returned to prison because she had nowhere else to go. She eventually turned her life around and is the proud mother of two daughters, an entrepreneur, a college student at Johnson C. Smith University, and she's a candidate for City Council in Charlotte. She is proof that people can change. She further stated when you have spent time in prison and then turned your life around you want to help others do the same. This is what Cedric Dean is doing and she applauds his efforts and the churches and agencies that are also helping.

Mr. David Fairchild who resides at 1712 South Lafayette Street, Shelby, North Carolina stated he had just been released from jail four days ago. He was homeless due to the deaths of his parents and sister. He had nowhere to go. His counselor in prison recommended for him to go to a halfway house. If it weren't for the support of Cedric Dean, he wouldn't have a home. He supports Mr. Dean and others that are trying to help men stay out of the system.

Ms. Karla Haynes who resides at 796 Kenmore Street, Shelby, North Carolina spoke as a service provider. She works for Cleveland County Community Development Corporation (a United Way agency and a HUD housing counselor agency) which provides homebuyer education and financial education to anyone that requests this service. She stated that she would be able to help the men in the halfway house that have jobs learn how to manage their finances in order to be successful in society. This same program is also offered to the reentry program offered by the Chief of Police.

Ms. Rose Corry who resides at 111 Stone Street, Shelby, North Carolina spoke on behalf of Cedric Dean. Ms. Corry stated that God gave her a second chance. When someone has served their time, they deserve a second chance.

Ms. Cora Roseboro who resides at 110 Jeter Road, Grover, North Carolina is in favor of Cedric Dean housing program. Her grandson went to prison and

when he got out it was so hard for him to get a job. She applauds Cedric Dean's plans to help men so they can have another chance at life.

Mr. Gregory Johnson who resides at 1712 South Lafayette Street, Shelby, North Carolina is in favor of the rezoning. He currently lives at the halfway house and it's a secure, stable home. With the help of Sandra Jenkins, he has a job with STI. With the support group and no drugs or alcohol allowed at the home, he feels like he can live a normal life at the home.

Mr. Travis McClain who resides at 1712 South Lafayette Street, Shelby, North Carolina was recently released from federal prison. He lives at the halfway house. Upon release from prison, he was rearrested within 6 months on violations of his parole. He had fallen back into his old ways to provide for himself. But if he had a place to go like Cedric Dean's home then things would have been much different. He's appreciative of his placement at Cedric Dean's home this time and he hopes the rezoning is approved so he can continue to better himself.

Mr. Travas Murray who resides at 1712 South Lafayette Street, Shelby, North Carolina stated that he spent time in prison and when he was released he was homeless. He slept outside the unemployment office and the manager contacted Cedric Dean. Mr. Murray stated that men need another chance to better their life and they can do better if they are given the right opportunity. He stated that people change, and they shouldn't be judged by something they did years ago.

Ms. Shirley Brown who resides at 3007 Poplar Circle, Shelby, North Carolina had a couple questions concerning the proposed property. She stated that the outlined property on the map is only one parcel out of four parcels. There are three other parcels that are also being considered. One of these parcels is the entrance to Brittan Village. She stated that the rezoning brings in so many other possibilities. Ms. Brown is in favor of Cedric Dean's home and believes rehabilitation is necessary, but she wonders what happens when all the parcels are considered but the Cedric Dean house does not stay in operation. She asked that there be a stipulation that if the Cedric Dean house does not stay that this rezoning be readdressed.

Ms. Marlana Lovelace who resides at 3009 Poplar Circle, Shelby, North Carolina has lived at this residence since 1965. She stated it is a very safe community with good neighbors. Ms. Lovelace inquired about the application from Mr. Dean that shows he asked for a Special Use Permit. She read the stipulations for a Special Use Permit in North Carolina.

Mayor Anthony asked Mr. Scharer to clarify the zoning application. Mr. Scharer stated that Mr. Dean incorrectly marked Special Use Permit on the application. Mr. Scharer further stated that Mr. Dean's use will require a

Special Use Permit if the rezoning is approved but this hearing tonight is only for the zoning request.

Ms. Lovelace continued by stating that Realtor.com indicates when there is a homeless shelter in the neighborhood, property values decrease by 12 percent.

Ms. Sandy Rutzen who resides at 3010 Poplar Circle, Shelby, North Carolina declined to comment. She mistakenly signed the sheet.

Mr. Artie Swinton who resides at 1650 Beech Hill Drive, Huntersville, North Carolina stated that he is the Workforce Development and Reentry Specialist for the United States Probation office in the western district of North Carolina. He stated that he covers 32 counties out of 100 in North Carolina. He was also a police officer in Gaston County. Mr. Swinton stated that the need for transitional services is now greater than ever. Mr. Swinton supports Cedric Dean's home and its mission.

Mr. Scott Ellis who resides at 1407 Ellis Ferry Road, Shelby, North Carolina stated that Cedric Dean bought the property from the Ellis family. He stated that when they heard his plans for the house the family had their own questions and concerns. After hearing about the program details and what it can provide, they changed their opinion. Mr. Ellis stated that he owns the lumber business across the street, and he does not feel like the halfway house will affect his business or the community negatively. Mr. Ellis has hired men from a similar program, and it has produced one of his better employees. Mr. Ellis said he and his family are in favor of the rezoning request.

Mr. Randy Thurman who resides at 1309 Lackey Street, Shelby, North Carolina stated that he is in favor of the rezoning request.

Ms. Betty Baker who resides at 6037 Country Walk Drive, Charlotte, North Carolina stated that she is the mother of Cedric Dean and is in favor of the rezoning. She stated that when her son was in prison, he helped over 500 people obtain their GED, and he was an advocate for so many people in prison. Ms. Baker stated that she was a mentor to the young men and has helped her son with the renovations of the halfway house. Ms. Baker concluded by stating that we all need to help one another and understand that people need second chances.

Ms. Sandra Jenkins who resides at 235 Borders Road, Blacksburg, South Carolina stated that she is the HR Manager for STI in Kings Mountain. Ms. Jenkins is originally from Cleveland County. As HR manager her main job is recruitment. In 2019, STI decided to try a Work Release program; at the time the company had the same concerns as the neighbors do tonight. She stated

that the company realized that most of these men are dependable, hard-working employees. Ms. Jenkins stated that since 2019 STI has employed forty-five offenders and the company has been able to retain some of the offenders even after they are released from prison. Ms. Jenkins stated that there are so many resources available for these men if they truly want to change. Ms. Jenkins is in favor of the rezoning request.

Mr. Gary Leigh who resides at 922 Surry Drive, Shelby, North Carolina stated that he is the Executive Director of Trailhead Resources. Mr. Leigh stated that there is a team of people that are monitoring and mentoring these men. Mr. Leigh believes that because of the monitoring and help these men are obtaining the neighborhood may be even safer. Mr. Leigh believes that the property should be General Business because there are other businesses in the area. Mr. Leigh stated that he understands the neighborhood's concerns but it's just unsubstantiated fear.

Ms. Stephanie Ellis-Martin who resides at 1497 Lackey Street, Shelby, North Carolina stated that she is the granddaughter of the previous owners of 1712 South Lafayette Street. Ms. Ellis-Martin is a schoolteacher in Cleveland County and has served as a Guardian ad Litem for four years. Ms. Ellis-Martin has experience with homeless and incarcerated families through her work. She stated that without the support and resources that Mr. Dean is trying to provide our community can expect more of the same cyclical suffering in our community.

Mr. Terry Black who resides at 3018 Poplar Circle, Shelby, North Carolina stated that he has worked with homeless men, drug addicts and men out of prison for twenty years. He stated that Cleveland County doesn't have a lot of resources for this type of person. Mr. Black understands both sides of the hearing and he can relate to both sides. Mr. Black stated that Cedric Dean's home is much needed but he wonders if this neighborhood is the best place. Mr. Black stated that everyone needs to come together to find the best solution.

Mr. Scharer clarified the property that is shown on the map and indicated where the other three parcels were located.

Mayor Anthony asked how many people can live in the house as it is currently zoned. Mr. Scharer stated that a single-family dwelling is allowed on the property as it is currently zoned. The Unified Development Ordinance states that a family can consist of four unrelated people; therefore, as the house is currently zoned four men can live there. This is also true if zoned as General Business 2. Mr. Scharer further stated that if the property is used as a full-fledged halfway house, then the property owner would have to receive a Special Use Permit from the Zoning Board of Adjustment. Mayor Anthony

reiterated that four men can reside in the house as it is currently zoned. Mr. Scharer responded that is correct.

Mr. White confirmed with Mr. Scharer that the proposed zoning request (GB2) is inconsistent with the Land Use Plan. Mr. White also asked what other businesses are allowed in General Business zones. Mr. Scharer listed restaurants, banks, churches, medical facilities, parks, and almost any business is allowed in General Business 2.

Mr. Webber asked Mr. Scharer that the proposed zoning change (GB2) would still not allow more than four unrelated people to live in the house without a Special Use Permit. Mr. Scharer responded that is correct. Council is not considering the Special Use Permit tonight, only the zoning request.

Mr. Scharer stated that if the zoning is changed to GB2 but the property is no longer utilized as a halfway house, then the property could be redeveloped as a restaurant, Family Dollar, or a variety of businesses.

Mr. Howell reminded Council that they were provided with a list of permitted uses within GB2 and R10 districts for their information.

Mayor Anthony closed the public hearing at 7:18 p.m.

Mr. White stated that he appreciates Cedric Dean's program and it is much needed in this community; however, he has a responsibility to the City to do what's right for the future of the City. Mr. White expressed concern that if Mr. Dean moves his program to another location what is to become of that property.

Ms. Arth stated that she realizes the audience did not have the benefit of the exhaustive list of businesses allowed in GB2 that Council was provided but it is lengthy. She stated that she is concerned that the zoning change is so broad and something that can't be easily undone. Ms. Arth asked if there was another zoning classification that was not as broad. Mayor Anthony reiterated that question and asked Mr. Scharer if there is another zoning classification that could be considered. Mr. Scharer stated not for the applicant's proposed use as a halfway house. Mr. Scharer further stated that any applicant can request a conditional zoning on a property but that has to come from the applicant, the City of Shelby cannot impose conditional zoning.

Mr. Webber stated that he wanted to be clear that changing the zoning does not give Mr. Dean the opportunity to add more men to the residence at this particular time. Mr. Scharer stated that is correct. Ms. Arth added that if the property is changed to GB2 the future use of this property could be a hospital

with an unlimited number of people according to the list of businesses allowed in the GB2 classification.

Mr. Webber asked about the zoning of the surrounding area and Mr. Scharer stated that the neighborhood is R10 and a few businesses nearby are zoned GB2.

Mr. Webber stated that he is a pastor of a local church and has been involved in jail ministry for twenty years. He stated that he feels in the middle of this as well and if he votes against the zoning proposal, he is not voting against Mr. Dean's mission.

City Attorney Leslie-Fite addressed the Mayor and Council. She stated that it has been requested by the applicant to amend the zoning application and Mrs. Leslie-Fite advised that this is within the applicant's purview. She further stated that if the applicant expresses his interest in amending his application, she requests Council to hear him on that point. The applicant can decide to remove this matter from the agenda, make the amendment, and bring it back in front of Council at a later date.

Mayor Anthony stated for clarification that the applicant has implied his desire to amend his application and if he chooses to amend his application then he can return to Council at a later date with a new zoning application. Mrs. Leslie-Fite stated that this is correct.

Mayor Anthony called upon Mr. Dean to address the Council. Mr. Dean stated that he is willing to propose conditions on his application. He further stated that he believes the value of the property has increased to between \$500,000 to \$600,000 due to the investment that he has put into the property and the contribution the Ellis family put into the home. Mayor Anthony asked Mr. Dean if he is requesting to pull his application and make an amendment to the application. Mr. Dean responded that is correct.

City Attorney Leslie-Fite instructed the Mayor that Council can table this matter and take no action on Ordinance No. 12-2022 at this time.

ACTION TAKEN: Upon a motion made by Mr. White, City Council voted unanimously to table Ordinance No. 12-2022 entitled, "A PROPOSED ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF SHELBY, NORTH CAROLINA".

Mr. Howell stated that any future zoning request from the applicant will require notice of a Public Hearing and notice will be given to adjoining property owners.

2) **Consideration of a proposed ordinance amending the zoning map of the City of Shelby, North Carolina (Washburn Switch Road): Ordinance No. 13-2022**

Mr. Scharer introduced a zoning map amendment for property located on Washburn Switch Road from R20 zoning district to Light Industrial (LI) zoning district. This is a 12-acre tract located just South of the interchange of the new bypass and is in close proximity to Shell Building #4 and the Foothills Commerce Center.

Mayor Anthony opened the public hearing at 7:30 p.m. and invited comments from the public.

Mr. Ed Howie who resides at 1775 Cox Road, Weddington, North Carolina stated he was Mayor of Weddington for five terms and his daughter just completed her second term as Mayor of Weddington; he blessed the Council for their service and commended them on the handling of the previous hearing.

Mr. Howie further stated that his wife, Barbara Bost Howie, is the trustee of this property. Her family operated Bost Bakery in Shelby. Mrs. Howie's father (Ned Bost) had goats and cattle on the property for years but recently it has been vacant. The family thought of selling the property to the City at one time which would provide a gateway to the industrial area the City is developing. Mr. Howie stated there are no plans to develop the property but would ask the City for guidance if it were rezoned Light Industrial as to the best use of the property.

Mrs. Barbara Bost Howie who resides at 1775 Cox Road, Weddington, North Carolina stated she supported the zoning request.

Mr. Jonathan Young who resides at 2230 Amber Lane, Shelby, North Carolina stated that the property is adjacent to his back yard. He stated he has lived there for over 20 years. He stated that Mr. Ned Bost put a fence up across the creek and onto his property years ago. Mr. Young told Mr. Bost that his horse needed the creek for water, Mr. Bost said his cattle needed water. Mr. Young and his neighbors would like to keep the area residential. He stated that most people don't know the neighborhood is there and it's quiet.

Mrs. Elizabeth Callis who resides in Weddington, North Carolina, thanked the Mayor and Council for their service. She stated that she supports the zoning request and that her family doesn't have plans at this time to develop the land.

Ms. Donna Wilson who resides at 2238 Amber Lane, Shelby, North Carolina stated that she was too late to sign up but that she is opposed to the zoning request.

Mayor Anthony closed the public hearing at 7:38 p.m.

Mayor Anthony asked City Attorney Leslie-Fite to remind Council on the statutory guidelines of Plan Consistency and Additional Reasonableness Statement for Rezoning. Mrs. Leslie-Fite stated that a legislative rezoning is a two-part process. The first part is to consider whether or not the proposed zoning is consistent with the Land Use Plan. This determination does not prohibit Council from changing zoning but is a guideline. The second part of the process is whether or not the request is reasonable. Mrs. Leslie-Fite directed Council to page 20 of their agenda packet which includes General Statute 160D-605 for reference. Within this statute are a list of reasonable factors Council may consider. Mrs. Leslie-Fite read the following factors:

- (i) the size, physical conditions, and other attributes of the area proposed to be rezoned,**
- (ii) the benefits and detriments to the landowners, the neighbors, and the surrounding community,**
- (iii) the relationship between the current actual and permissible development on the tract and adjoining areas and the development that would be permissible under the proposed amendment,**
- (iv) why the action taken is in the public interest; and**
- (v) any changed conditions warranting the amendment**

Mrs. Leslie-Fite stated Council can choose one or all of the factors to consider. She further stated that the Courts would look to see if you have considered these factors, but the Court does not tell you how you should decide.

Mayor Anthony stated that when Council is considering this rezoning it would be reasonable and appropriate to state that there is industrial development in this area. Mrs. Leslie-Fite stated that would coincide with the first factor listed in the General Statute.

Mr. Webber asked Mr. Scharer about the detriment to other properties if the zoning were changed. Mr. Scharer stated that he was not qualified to say what detriments could arise. He further stated that the Unified Development Ordinance does have development patterns built within it to protect the neighboring properties as much as possible with buffering and setbacks, and these provisions are in place. If the property is adjacent to a residential use property, then the maximum buffer is usually required.

Mrs. Leslie-Fite further advised that the detriments are to be determined by a certified expert, not a property owner.

Ms. Arth asked for clarification as to whether the creek mentioned earlier was on the property or not. Mr. Scharer stated that there is a creek in that area, and asked Mr. Howie for more explanation. Mr. Howie stated that it is more of a drainage ditch than a creek and it was not on the property owned by his family.

ACTION TAKEN: Upon a motion made by Mr. White, City Council voted 5-1 (Ms. Arth oppose) to approve and adopt Ordinance No. 13-2022 entitled, “A PROPOSED ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF SHELBY, NORTH CAROLINA”.

- 3) Consideration of a proposed ordinance amending the zoning map of the City of Shelby, North Carolina (622, 624, 630 N. Post Road): Ordinance No. 14-2022

Mr. Scharer introduced a zoning map amendment for property located on N. Post Road (622, 624, and 630 N. Post Road) from R20 zoning district to General Business 2 zoning district. Mr. Scharer stated that the property is located between N. Post Road and the future 74 Bypass. The property is zoned R20 currently because it does not have sewer service and it is currently vacant. The long-range transportation plan lists this as a medium residential area but would need to have sewer to become that classification.

Mayor Anthony opened the public hearing at 7:43 p.m. and invited comments from the public.

The public offered no comments.

Mayor Anthony closed the public hearing at 7:44 p.m.

ACTION TAKEN: Upon a motion made by Mr. Webber, City Council voted unanimously to approve and adopt Ordinance No. 14-2022 entitled, “A PROPOSED ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF SHELBY, NORTH CAROLINA”.

- 4) Consideration of a proposed ordinance amending the zoning map of the City of Shelby, North Carolina (Old Hallelujah Acres site): Ordinance No. 15-2022

Mr. Scharer introduced a zoning map amendment for properties located at the Old Hallelujah Acres site from Residential Office Conditional Zoning

(ROCZ) and General Business Conditional Zoning (CZ) zoning district to R6 zoning district. According to Mr. Scharer, when these properties were first developed, they were to be commercial development, but the current owner is requesting that they be zoned for single family dwellings.

The zoning request is inconsistent with the Land Use Plan but it is reasonable with the pattern of development in the area.

Mr. Hopper asked for clarification as to the location of the property. Mr. Scharer explained that this was originally the Hallelujah Acres property that was not developed as planned years ago. Mr. Howell further clarified that the original Pinnacle School is located across the street from this property, and it was formerly the Hallelujah Acres business that included a restaurant and retail store.

Mr. Scharer stated that the zoning request is for both of these properties to be amended to R6. One is currently ROCZ and the other is GBCZ.

Mayor Anthony opened the public hearing at 7:53 p.m. and invited comments from the public.

Mr. Judson Stringfellow who resides at 3515 Dovewood Drive, Charlotte, North Carolina stated that he is the owner of this property along with some of the adjacent properties. Mr. Stringfellow stated that previously this property was intended for high density stacked condominiums, a gift shop, a parking lot and amphitheater. The zoning amendment would allow for single-family homes to be built in this neighborhood.

Mayor Anthony closed the public hearing at 7:56 p.m.

ACTION TAKEN: Upon a motion made by Ms. Arth, City Council voted unanimously to approve and adopt Ordinance No. 15-2022 entitled, "A PROPOSED ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF SHELBY, NORTH CAROLINA".

5) Consideration of a proposed ordinance to amend the Unified Development Ordinance of the City of Shelby: Ordinance No. 16-2022

Mr. Scharer stated the proposed text amendment would amend the watershed requirements. Mr. Scharer showed on the map that the Watershed IV is in the northern part of town and also showed the water intake out of the river. He further explained that the City of Shelby has the 10%/70% option which means up to 10% of the developable area can be constructed up to 70% impervious surface. To date, the City has only developed 0.074% of the available 10% area. Mr. Scharer stated further that currently the 10%/70%

option only specifies for nonresidential development. This text amendment will allow for any type of development to apply for and be approved under the 10%/70% option, assuming it is appropriate development. The 10%/70% option is another layer of the protection from the watershed.

Mayor Anthony opened the public hearing at 8:01 p.m.

The public offered no comments.

Mayor Anthony closed the public hearing at 8:02 p.m.

ACTION TAKEN: Upon a motion made by Mr. Hopper, City Council voted 5-1 (Ms. Arth oppose) to approve and adopt Ordinance No. 16-2022 entitled, “A PROPOSED ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE OF THE CITY OF SHELBY”.

- 6) Consideration of a proposed ordinance to extend the corporate limits of the City of Shelby, North Carolina: Ordinance No. 17-2022

Mr. Scharer stated that this property is located at 1351 South DeKalb Street and is contiguous to the existing city limits. In February 2022 Council approved a Certificate of Sufficiency resolution. Mr. Scharer also reminded Council that in 2021 they approved a Special Use Permit to construct a 312 multi-family complex at this site. Staff approved a site plan for this property last week.

Mayor Anthony opened the public hearing at 8:04 p.m.

The public offered no comments.

Mayor Anthony closed the public hearing at 8:05 p.m.

ACTION TAKEN: Upon a motion made by Mr. White, City Council voted unanimously to approve and adopt Ordinance No. 17-2022 entitled, “A PROPOSED ORDINANCE TO EXTEND THE CORPORATE LIMITS OF THE CITY OF SHELBY, NORTH CAROLINA”.

- 7) Consideration of a proposed resolution authorizing purchase of land pursuant to G.S. 158-7.1: Resolution No. 22-2022

Mr. Howell explained that a public hearing is required by the General Statute to notify the public that the City’s intent to acquire property is for economic development purposes. The property includes about 40 acres on Artee Road; it is the City’s intent to purchase this property and to develop it in the future for industrial development. The City can sell this property to a private entity or may decide to build a Shell Building on this site.

Mayor Anthony opened the public hearing at 8:07 p.m.

The public offered no comments.

Mayor Anthony closed the public hearing at 8:08 p.m.

ACTION TAKEN: Upon a motion made by Mr. Causby, City Council voted unanimously to approve and adopt Resolution No. 22-2022 entitled, “A PROPOSED RESOLUTION AUTHORIZING PURCHASE OF LAND PURSUANT To G.S. 158-7.1”.

8) Consideration of a proposed resolution granting a Special Use Permit to JDSI, LLC at Pinnacle Crossing: Resolution No. 23-2022

Mr. Scharer introduced Resolution No. 23-2022 and the proposed Special Use Permit request by the applicant, JDSI, LLC. The site is currently zoned GB2CZ, and the Future Land Use map has it listed as a residential high-density area so the approval of a Special Use Permit is consistent with Future Land Use plan.

Mr. Scharer stated that one of the conditions of the Special Use Permit is to install a greenway that connects the proposed sidewalk on Lynn Circle to the existing subdivision. The applicant plans to build 101 townhome units on approximately 16 acres.

Mayor Anthony opened the public hearing at 8:10 p.m. and sworn testimony was given as follows:

Mayor Anthony asked Mr. Scharer if the application is complete, within the jurisdiction, and it will not comply with one or more requirements of this Ordinance. Mr. Scharer responded affirmatively by stating that staff had certified those requirements.

Mayor Anthony further stated that the applicant must persuade Council on the following factors:

- The development will not materially endanger the public health or safety**
- The development will not substantially injure the value of adjoining or abutting property**
- Will be in harmony with the area in which it is to be located**
- Will be in general conformity with the Comprehensive Land Use Plan or other plans officially adopted by Council**

Van Durrett who resides at 159 Appian Way, Shelby, North Carolina stated that his property is the northern boundary of the proposed townhomes property. Mr. Durrett remembers when cows were in the property, then Hallelujah Acres tried to develop the property. Hallelujah acres developer found a pond on the property; they emptied the pond and built a berm between his property and Hallelujah Acres which Mr. Durrett states impounded all the water. His property started flooding. He submitted photos (Exhibit 1 – 4) to City Attorney Leslie-Fite.

Mr. Durrett concluded by stating that he is all for the development of the townhomes, he just hopes that the drainage issue is addressed during the planning process.

City Attorney Leslie-Fite asked Mr. Durrett the following questions regarding photographs he wished to show City Council:

- Q: When were the photographs taken?
- A: 2014.
- Q: Who took the photographs?
- A: I took the photographs.
- Q: Is it your representation to Council tonight that these photographs fairly and accurately depicted the property at that time?
- A: Yes (Nodded Yes)
- Q: Have you made any alterations to the photographs submitted?
- A: Mr. Durrett stated he had not.
- Q: Do you believe the photographs will help illustrate the testimony you are giving tonight?
- A: Yes
- Q: Is it Mr. Durrett's intent to submit these photographs to Council?
- A: Yes

City Attorney Leslie-Fite admitted the photographs as Exhibit 1 – 4 and they were presented to Council for consideration.

Mr. Judson Stringfellow who resides at 3515 Dovewood Drive, Charlotte, North Carolina stated that he is the applicant for the Special Use Permit. Mr. Stringfellow reiterated that the proposed property is the former Hallelujah Acres property that was rezoned in 2007 or 2008. He further stated that at that time the property was zoned for a hotel and retail businesses. Mr. Stringfellow stated that his company would go through the full development approval process which would include grading and stormwater plans. He stated that he has no knowledge of the situation with the flooding issues but that it would be addressed with the development process. Mr. Stringfellow commented that in his plans there is a greenway area behind the townhomes with a drainage area included in those plans. He stated that the bulk of the

runoff from this development would go into a retention pond to remove water from this site. Mr. Stringfellow stated that there would be an additional entrance into the development on N. Post Road. The layout design would be townhomes at the front of the neighborhood, then small lot single-family homes, and then the bigger lot single-family homes at the back with buffers in between each division. Mr. Stringfellow concluded that all development plans will be approved by the City during the planning phase.

Mayor Anthony asked how will the area be in harmony which is one of the criteria. Mr. Stringfellow stated that it is a residential area. The plan is for housing just different types of housing within the neighborhood and there are schools and businesses nearby which would be in harmony with a growing neighborhood.

Mr. Ambrose Downs who resides at 4010 Lynn Circle, North Carolina stated that his property is adjoining the proposed Special Use Permit property. He stated that Hallelujah Acres ruined that area when they developed years ago. He stated that all his cypress trees eventually fell down due to the water runoff from the Hallelujah Acres development. He further stated that the proposed road will come right up to his front yard.

Mr. Anthony asked for clarification as to the location of the road and Mr. Downs' property. Mr. Downs stated that he lives on a dead-end street and with the addition of the proposed street it will cause more traffic coming into his neighborhood.

Mayor Anthony closed the public hearing at 8:22 p.m.

Having heard all the evidence and arguments presented at the hearing, Council finds and determines the application is complete. Mayor Anthony read the four findings of fact that Council must consider:

- The development will not materially endanger the public health or safety
- The development will not substantially injure the value of adjoining or abutting property
- Will be in harmony with the area in which it is to be located
- Will be in general conformity with the Comprehensive Land Use Plan or other plans officially adopted by Council

ACTION TAKEN: Mr. White made a motion to approve a Special Use Permit at Pinnacle Crossing due to the fact that this project will not materially endanger the public health or safety, will not substantially injure the value of adjoining or abutting property, will be in harmony with the area in which it is to be located, and will be in general conformity with the Comprehensive Land

Use Plan or other plans officially adopted by Council. City Attorney Leslie-Fite asked Mr. White to incorporate Exhibit A which is the Findings of Fact and the Conclusions of Law into the Ordinance and Mr. White agreed to incorporate the Findings of Fact and Conclusions of Law.

City Council voted unanimously to approve and adopt Ordinance No. 23-2022 entitled, "A PROPOSED RESOLUTION GRANTING A SPECIAL USE PERMIT TO JDSI, LLC AT PINNACLE CROSSING".

C. Consent Agenda:

Mayor Anthony presented the consent agenda. Ms. Arth moved to approve the consent agenda and the following items were unanimously adopted:

- 1) Approval of the Minutes of the Regular Meeting of March 7, 2022
- 2) Approval of a resolution authorizing the submittal of the City of Shelby's application for North Carolina Industrial Development Fund Utility Account (IDF) Grant for the Randolph Road Industrial Park Sewer Project: Resolution No. 24-2022
- 3) Adoption of Fiscal Year (FY) 2021-2022 Budget Ordinance Amendment No. 8: Ordinance No. 18-2022
- 4) Adoption of Fiscal Year (FY) 2021-2022 Budget Ordinance Amendment No. 9: Ordinance No. 19-2022

C. Unfinished Business:

- 1) Approval of a resolution authorizing allocation of American Rescue Plan funding: Resolution No. 25-2022

Mr. Howell introduced Resolution No. 25-2022 for Council's consideration. If approved this resolution adopts an outline of an allocation for the money provided by the American Rescue Plan. Mr. Howell stated this is a broad framework of how the \$6.3 million is proposed to be spent based on discussion from the Council Retreat and by staff recommendations. There are three categories including:

- 1) Unsewered Neighborhoods – Mr. Howell stated there is approximately \$2 million dollars allocated for this category. There are approximately 7 neighborhoods without sewer and other smaller isolated areas where gravity sewer is not available due to the topography of those areas. Mr. Howell stated that Clearbrook and Washington Heights are two

neighborhoods that could be looked at for this project. Mr. Howell commented that he was not certain that the City could fund both of those neighborhoods.

2) Existing Water and Sewer System Improvements – Mr. Howell stated there is approximately \$3 million allocated for this area. Mr. Hux, Water Resources Director, made a list of items which included: water treatment plant filtration improvements, sedimentation basin valving improvements, looping dead end waterlines, replacement of water distribution lines and replacement of sewer collection systems.

3) City Facility Improvements – Mr. Howell stated there is approximately \$1.3 million allocated for this area. The list of improvements include City Hall roof replacement and energy efficiency improvements, and renovation and repair of the city owned building located at 311 S. Lafayette Street which is the former Shelby Police Department building. The City plans to move the Planning Department, Code Enforcement, Building Inspections and Human Resources into that building.

Mr. Howell explained that approval of this resolution simply gives a plan to move forward. Mr. Howell further commented that the current policy for sewer extensions states that upon a petition from a neighborhood the City would provide a certain percent of funding that would not exceed 33% of the overall costs of the project. Mr. Howell stated that the City has found that even with 33% subsidy the property owners still cannot afford the sewer extension. Mr. Howell proposed that he would bring a policy to Council that would make exceptions to the percentage the City would provide which may be between 80% - 90%. Mr. Howell stated he believes the property owner should participate in the project and pay a portion due to the fact they are not sewer rate payers now and the rate payers pay for the sewer system. Mr. Howell reiterated the need for funding both the Water and Sewer improvements and the City facilities improvements, especially the roof at City Hall, which has only been repaired twice since 1939. Mr. Howell concluded by stating the old Shelby Police Department building has a good roof, windows and doors but would need interior work.

Mr. White inquired if the City was going to tear down the existing Planning Department building. Mr. Howell stated that would need to be determined.

ACTION TAKEN: Upon a motion made by Mr. Causby, City Council voted unanimously to approve and adopt Resolution No. 25-2022 entitled, “A RESOLUTION AUTHORIZING ALLOCATION OF AMERICAN RESCUE PLAN FUNDING”

H. City Manager's Report:

Mr. Howell mentioned the City Vision conference slated for April 26 – 28 in Wilmington, North Carolina (formerly the North Carolina League of Municipalities annual conference). If anyone is interested in attending to please let him or the City Clerk know.

Mr. Howell stated that he will follow up with an email to Council with any additional updates.

I. Council Announcements and Remarks:

Mr. Hopper appreciated the City Manager for following up on the unsewered neighborhoods and hopes the project goes through.

Mr. Webber asked the City Manager if the City had an official historian. Mr. Howell stated we did not. Mr. Webber wondered if this was the longest meeting Council had ever had. Mr. Howell stated that no he did not think so.

J. Adjournment:

1) Motion to adjourn

ACTION TAKEN: Upon a motion made by Mr. White, City Council voted unanimously to adjourn the meeting at 8:37 p.m.

Respectfully submitted,

**Carol S. Williams
Interim City Clerk**

**O. Stanhope Anthony III
Mayor**

Minutes of March 21, 2022

City of Shelby
Agenda Item Summary
April 4, 2022
Council Chambers

Agenda Item: C-2

- 2) Approval of City of Shelby's Application for United States Department of Transportation Rebuilding American Infrastructure with Sustainability and Equity (RAISE) Grant Program: Resolution No. 26-2022

Consent Agenda Item: (Rick Howell, City Manager)

- Memorandum dated March 28, 2022 from Justin Merritt, Assistant City Manager to Rick Howell, City Manager
- Resolution No. 26-2022

City Manager's Recommendation / Comments

Resolution No. 26-2022 is presented for City Council via the Consent Agenda. If approved this resolution will authorize the City Manager to execute all documents needed to apply for this grant and receive the funds if awarded. The RAISE grant will help provide funding for the multi-use rail trail. This is the third attempt made by the City. Each year we have increased our efforts to make our application more and more competitive as we have learned more about USDOT expectations. Our team has taken advantage of the USDOT debrief process each year and this has informed our approach to the application process. In 2021 the City's application was one of 232 that were "highly recommended" to the US Secretary of Transportation, Pete Buttigieg. Unfortunately there was only funding for 90 of these. The RAISE grant program is annually allocated \$900 million nationwide for transportation related projects. In 2022 we have been told this amount will be approximately \$1.9 billion. Our team continues to work with the offices of Senator Tillis, Senator Burr and now Congressman McHenry. They have all agreed to letters of support once again.

As a reminder this grant request is for \$25 million and would fund the rail trail from Grover Street all the way to the SC State line. Applications are normally due in July but this date has been moved up to April 14, 2022 with award notifications expected by July this year.

It is recommended that Resolution No. 26-2022 be adopted and approved via the Consent Agenda at this time.



To: Rick Howell, City Manager
From: Justin Merritt, Assistant City Manager
Date: March 28, 2022
Subject: US Department of Transportation RAISE Grant Application

Background:

The City intends to apply for a USDOT Rebuilding American Infrastructure with Sustainability and Equity (RAISE) grant to provide funding for a multi-use rail trail on the previously purchased Norfolk Southern rail corridor.

The Shelby Regional Access Improvement Line (Shelby R.A.I.L.) project envisions a safe off-street 9.95-mile bicycle and pedestrian corridor and 3.9 miles of connecting spurs for cyclists and pedestrians of all socio-economic backgrounds to utilize for equitable alternative rural transportation from Shelby to the North Carolina-South Carolina state line and return. The R.A.I.L. will complement ongoing and future community and economic development efforts throughout Cleveland County, and will create much needed physical and economic connections between Shelby (regional central business district and county seat), Patterson Springs, and Earl (both bedroom communities with limited commerce), for low-and-moderate income (LMI) neighborhoods whose residents may not own vehicles. The R.A.I.L. facilitates safe non-vehicular access to employment opportunities, parks, commercial and retail centers, cultural and educational resources, medical facilities, and residential districts near the corridor. The City is seeking funding in whole for all three sections, or in part for the Shelby Section with independent utility.

The attached resolution will authorize the City Manager and Assistant City Manager to execute all documents needed to apply for the grant and receive the grant funds, should an award be made.

Recommendation:

The recommendation from staff is to approve the attached resolution.

RESOLUTION NO. 26-2022

THE CITY OF SHELBY'S APPLICATION FOR UNITED STATES DEPARTMENT OF TRANSPORTATION REBUILDING AMERICAN INFRASTRUCTURE WITH SUSTAINABILITY AND EQUITY (RAISE) GRANT PROGRAM

WHEREAS, the City of Shelby's City Council has previously indicated its desire to assist in economic development and tourism efforts within the City; and,

WHEREAS, the City Council wishes the City to pursue a formal application for RAISE funding to assist with the construction of a multi-use rail trail on the previously purchased Norfolk Southern railway corridor, and

WHEREAS, the City Council certifies that the City of Shelby will administer this grant in accordance with the rules and regulations of the US Department of Transportation.

WHEREAS, The City Council certifies that the City of Shelby will administer this grant through the City of Shelby Finance Office.

WHEREAS, the grant will be monitored quarterly to assure compliance with this proposal and the US Department of Transportation regulations.

WHEREAS, the amount of the grant application will be approximately \$24,990,000.

AND, that Rick Howell, City Manager, and Justin S. Merritt, Assistant City Manager, the Authorized Officials, and successors so titled, are hereby authorized to execute and file applications on behalf of the City of Shelby for funding to aid in the construction of the project described above.

NOW, THEREFORE BE IT RESOLVED, by the City Council of the City of Shelby that the City is authorized to submit a formal application for approval of grant funds to assist with the construction of a multi-use rail trail on the previously purchased Norfolk Southern railway corridor.

Adopted and approved this the 4th day of April, 2022.

O. Stanhope Anthony III
Mayor

Resolution No. 26-2022
April 4, 2022
Page 2

ATTEST:

Carol S. Williams
Interim City Clerk

APPROVED AS TO FORM:

Andrea Leslie-Fite
City Attorney

City of Shelby
Agenda Item Summary
April 4, 2022
Council Chambers

Agenda Item: C-3

- 3) Approval of a Resolution Authorizing the Selection of REI Engineers, Inc.,
Based on Qualifications for Architectural Design for City Hall Roof
Replacement Project: Resolution No. 27-2022

Consent Agenda Item: (Rick Howell, City Manager)

- Memorandum dated March 29, 2022 from Justin Merritt, Assistant City Manager to Rick Howell, City Manager
- City Hall Roof Evaluation, dated September 15, 2014
- Request for Qualifications – City Hall Roof Project, dated February 4, 2022
- Roof Replacement Tab Sheet – 3 proposals received
- Resolution No. 27-2022

City Manager's Recommendation / Comments

Resolution No. 27-2022 is presented for City Council consideration via the Consent Agenda. The City has solicited statements of qualifications from architectural firms to oversee the replacement of the roof on City Hall. After sending out a request for statements of qualifications (RFQ) and receiving responses from three qualified firms it is my recommendation that REI Engineers, Inc be selected to conduct this work.

It is our belief that the existing roof is largely the original which was part of the construction of the City Hall building in 1939 with some repairs. The full scope of work will be developed in conjunction with City staff. It will focus on replacement of the existing slate roof with a newer slate roof to protect the integrity of the historic appearance. I do anticipate that the scope could include additional building envelope elements such as repair and/or replacement of windows and doors.

Once the scope and design are determined the project will be put out to bid and subsequently brought to City Council for contract award. A portion of the funding for this project is budgeted in the current operating budget with the remaining allocated from the ARP funds.

It is recommended that Resolution No. 27-2022 be adopted and approved via the Consent Agenda at this time.



To: Rick Howell, City Manager

From: Justin Merritt, Assistant City Manager

Date: March 29, 2022

Subject: City Hall Roof Replacement Architectural Services Recommendation

Background:

The City Hall facility, located at 300 S. Washington Street, was constructed in 1939 and is largely covered in a slate tile roof, with smaller sections of various low slope roof coverings. The slate roof tiles are original to the facility and have reached the end of their useful life. The City commissioned a roof structure evaluation (attached) in 2014, which recommended replacement of the roof at that time, along with general maintenance being performed to wood components such as windows, fascia and replacement of some gutter systems. The City agrees with these results and recommends moving forward as described in the report.

In early 2022, the City requested proposals from qualified architectural and engineering firms to assist with the roof replacement and other facility maintenance items. The City received 3 proposals, which were subsequently evaluated by City staff. The recommendation was to move forward with the proposal from REI Engineers, Inc.(attached), largely due to their extensive work, focused on roof structure replacement, and the expertise of their staff.

Recommendation:

The recommendation from staff is to approve the attached resolution approving the City Manager to negotiate and execute a contract with REI Engineers, Inc.

CITY HALL ROOF EVALUATION



Client's Representative: Mr. Justin Merritt
Director of Finance

Prepared By: REI Engineers
1927 J.N. Pease Place, Suite 201
Charlotte, North Carolina 28262
NC Engineers License No. C-1520
SC Engineers COA #1906

Keith Davis
RRC,REWC
Sr. Project Manager

Jeremiah Webster
PE, RBEC, RRC, REWC, RWC
Project Engineer

Date: September 15, 2014

CITY HALL

ROOF EVALUATION

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ENCLOSURES:

- Drawing A - Roof Plan

I. EXECUTIVE SUMMARY

This report presents the findings of a roof evaluation conducted at the City Hall located at 300 S. Washington Street, Shelby, North Carolina 28150.

In general, roof systems were observed to be in poor condition and are recommended to be replaced. Due to the varying thickness and sizes of the slate, it will be cost prohibitive to attempt to salvage and reuse the slate; therefore as indicated below, REI recommends all slate be replaced and has budgeted accordingly.

All wood components (e.g. windows, fascia/cornice, spire) should be painted with any deteriorated components replaced to match existing. In addition, window perimeter sealants and glazing should be replaced.

Deteriorated mortar joints should be tuck pointed.

II. INVESTIGATION PURPOSE/SCOPE

A summary of the work included in this proposal is as follows:

1. Develop a scaled roof plan drawing in AutoCAD indicating the locations of penetrations, type(s) of membrane and types(s) of roof deck.
2. All reasonably accessible, exposed surfaces of the system are carefully examined to locate specific problems and evaluate the overall needs of the area(s) in question.
3. Digital photographs are taken to highlight areas of concern and illustrate discrepancies due to age, application, design or material performance. Photograph locations will be shown on the plan.
4. Core samples will be taken on low-slope areas to determine conditions and composition of roof system at the core location. In addition to reporting the type of components, typical comments relate to adhesion, delamination, deterioration, moisture content and anticipated service life. All openings in the system will be repaired with compatible materials. Core samples will not be taken where deemed inappropriate due to possible warranty issues, questionable conditions/materials, etc.
5. Approximately ten (10) slate samples shall be removed and replaced with new slate of matching dimensions. Slate samples will be shipped to testing lab to determine if they still meet minimum ASTM testing performance criteria. *After review of the slate present, due to the varying thickness and sizes of the slate, it will be cost prohibitive to attempt to salvage and reuse the slate; therefore as indicated below, REI recommends all slate be replaced.*
6. Based on conditions determined through careful review of the roof system and building interior/exterior, an outline of necessary or desired remedial procedures will be provided.
7. Based on the findings, the recommended corrective actions will be outlined with the estimated cost of the work. If replacement is necessary, budget figures will be provided for a variety of roof system types.

III. WARRANTY NOTICE

The findings and recommendations submitted for the subject building envelope components are based upon available information furnished by participating personnel as well as the investigation. The observations and recommendations presented in this report are time dependent and conditions will

change. REI reserves the right to modify this report should additional information become available. No other warranty is expressed or implied. This report has been prepared for the exclusive use of City of Shelby and its agents.

IV. DESCRIPTION AND BACKGROUND

REI was contacted by Mr. Merritt with concerns about the overall roof condition of the facility. The investigation consisted of visually evaluating the existing conditions of the roofing systems and performing core cuts to determine the existing roof system composition.

V. INVESTIGATION/OBSERVATIONS

The facility consists of ten (10) individual connected roof areas. The composition of the areas are as follows:

Areas A, B, C

Consists of slate shingles (Vermont slate of varying sizes and dimensions) over 15 lb. felt underlayment over 30 lb. felt underlayment over wood deck.

Area C is located at the center of the facility and is the main entrance of the facility, Area B is a lower roof area located between Areas A and B, and Area A is the southernmost section of the facility.

The slate shingles on Roof Area A, B and C were observed to be in poor condition. Due to the physical condition combined with the varying sizes and dimensions, it is not anticipated to be cost effective to attempt to salvage the slate; it is estimated that 5% to 10% of the slate could be salvaged. The slate on Roof Area C consisted of larger and heavier slate than Areas A and B.

Deflection in the roof structure on Roof Area C was observed. Deflection was approximately 3/4" to 1". REI recommends a structural assessment of the roof framing be performed.

Roof Areas A, B and C drain to built-in copper gutters, downspouts and collector heads on the East side of the roof and to aluminum gutters and downspouts on the West side of the roof. The gutters and drainage systems were observed to be in good condition. All downspouts tie into a below grade storm drainage system.

The remaining perimeter of Roof Area A and B consists of a masonry parapet walls and/or masonry elevation walls with copper step flashings and counter flashings set into a saw cut reglet in the masonry mortar joints. The copper step flashings and counter flashings were observed to be in good condition with sealants observed to be in poor condition. A cast stone coping is present along the top of the masonry parapet and was observed to be in fair condition with joints between pre-cast units being open to varying degrees.

Roof Area E abuts Area C with a masonry elevation wall extending above Roof Area C. Numerous deficiencies and incomplete details were observed to include open conditions at the cricket, open conditions at the step flashings and open conditions at the top of the elevation wall due to missing cast stone coping.

The exterior masonry walls surrounding Roof Area A and B appear to be a mass brick masonry wall and were observed to be in fair condition with some cracks and open mortar joints observed.

One vent pipe, located on the West side of Roof Area A, was observed to be broken off at roof level.

A decorative wood spire is present at the ridge of Roof Area C. The spire consists of wood framing, columns and railing with vinyl siding cladding the base of the structure. Roof of structure consists of terne-coated metal roofing. This spire was not readily accessible. In general, the spire appears to be in good condition however REI recommends further evaluation into the painted wood surfaces and condition of the vinyl siding and step flashings of the structure.

Areas D and F

Consists of aggregate surfacing over coal tar pitch roof membrane over 1/2" wood fiber insulation (Area F only) over 1/8" per foot tapered perlite insulation over 2.5" polyisocyanurate insulation over steel deck.

Roof Area D is a small roof area located between Areas G, E and C.

Roof Area D was observed to be in poor condition. The roof membrane was observed with depleted coal tar pitch between the plies of felt reinforcement. Deteriorated base flashings were observed. Inadequate flashing detail was observed at a mechanical supply penetration.

Slope is present in the structure of Roof Area D and drains to external gutters and downspouts.

Elevation walls above Roof Area D consist of brick masonry with windows. Deteriorated mortar joints were observed in the masonry wall. Window paint and sealants were observed to be deteriorated.

Roof Area F is a lower roof area located between higher elevation roof Areas G and C.

Roof Area F was observed to be in poor condition. Deteriorated base flashings throughout the roof area were observed.

Drainage for Roof Area F is accommodated via through wall scuppers with collector heads and downspouts. Overflow drainage is handled via through wall scuppers. The size of all scuppers would be reviewed during the roof replacement design in order to determine if they are adequate to properly accommodate the design precipitation event.

Roof Area F walls above roof level consist of a masonry parapet walls and/or masonry elevation walls with counter flashings set into a saw cut reglet in the masonry mortar joints. A cast stone coping is present along the top of the masonry parapet and was observed to be in fair condition with joints between pre-cast units being open to varying degrees. Brick masonry elevation walls were observed to be in fair condition. Deteriorated mortar joints were observed. Window sealants and paint were observed to be deteriorated. Through wall flashing does not appear to be present where Area F abuts the masonry elevation walls of Area E.

Area E

Consists of aggregate surfacing over coal tar pitch roof membrane over 1/2" wood fiber insulation over 1" perlite over concrete deck.

The roof has structural slope and drains to an external gutter and downspouts.

Roof system was observed to be in poor condition. Deficiencies observed include deteriorated base flashings, missing cast stone coping components, open through wall flashing conditions due to missing cast stone coping and leaking copper gutter.

Area G

Consists of aggregate surfacing over coal tar pitch roof membrane over 1/2" wood fiber insulation over gypsum fill over concrete deck.

Slope is present in the structure draining to external aluminum gutters and downspouts.

Roof Area G was observed to be in poor condition with the following deficiencies observed: deteriorated base flashings, open pitch pocket sealants, low flashing heights at HVAC unit curbs, and mechanical units supported by I-beams over the roof membrane surface causing deflection in the roof membrane system.

The perimeter of Roof Area G consists of a masonry parapet walls and/or masonry elevation walls. A cast stone coping is present along the top of the masonry parapet and was observed to be in fair condition with joints between pre-cast units being open to varying degrees. The masonry elevation walls were observed to be in fair condition with some deteriorated mortar joints. Windows are present with deteriorated sealants and paint observed.

Areas H, I and K

Consists of slate shingles (Vermont slate of varying sizes and dimensions) over 30 lb. felt underlayment over wood deck.

Roof Area H is the lower roof area between Area C and Area I, Area I is the westernmost roof area adjacent to low slope Area J and Area K is a lower abutting roof area to Area I.

The slate shingles on Roof Area H, I and K were observed to be in poor condition. Due to the varying sizes and dimensions, it is not anticipated to be cost prohibitive to attempt to salvage the slate; it is estimated that 5% to 10% of the slate could be salvaged. The slate on Roof Area C consisted of larger and heavier slate than Areas B and C.

Roof Area H and I drains to built-in copper gutters, downspouts and collector heads on the East side of the roof. Roof Area H drains to aluminum gutters and downspouts on the West side of the roof. Roof Area I drains onto the lower abutting Area J on the West side of the roof. The gutters and drainage systems were observed to be in good condition. All downspouts tie into a below grade storm drainage system.

Roof Area K drains to external copper gutters and downspouts.

The remaining perimeter of Roof Area H consists of masonry elevation walls with copper step flashings and counter flashings set into a saw cut reglet in the masonry mortar joints. The copper step flashings and counter flashings were observed to be in good condition with sealants observed to be in poor condition.

The remaining perimeter of Roof Area I consists of a masonry parapet walls with copper step flashings and counter flashings set into a saw cut reglet in the masonry mortar joints. The copper step flashings and counter flashings were observed to be in good condition with sealants observed to be in poor condition. A cast stone coping is present along the top of the masonry parapet and was observed to be in fair condition with joints between pre-cast units being open to varying degrees.

Dormers are present on Roof Area I and consist of vinyl siding with wood windows. Window sealants and paint are deteriorated.

Area J

Consists of fully adhered TPO membrane over 1/2" wood fiber insulation over 1" polyisocyanurate insulation over plywood deck. Approximate 3/4" per foot slope in the structure appears to be present.

Roof Area J is located South of Area I and drains to aluminum gutters and downspouts.

Roof Area J was observed to be in poor condition with most of the detail flashings failing and open to varying degrees. Specific deficiencies observed were deteriorated sealant and termination bar at termination of flashings, disbonded roof membrane, moisture was present at each core cut location in the wood fiber insulation, improper detail flashing at transition to slate roof area (Area I), deteriorated pitch pocket sealants, and duct penetration for HVAC unit not properly flashed.

Exterior Walls

REI's review of exterior walls primarily focused on walls above lower abutting roof levels. Exterior walls consist of mass brick masonry construction and were observed to be in fair condition. Various deteriorated mortar joints were observed throughout the building.

Brick masonry parapet walls are capped with cast stone coping. Joints of cast stone copings are open to varying degrees.

Wood windows are present throughout with deteriorated painted surfaces and deteriorated sealants observed.

Perimeter fascia/cornice components were observed to be in good condition. Paint was observed to be deteriorated to varying degrees. Minimal deteriorated wood components were observed.

VI. RECOMMENDATIONS

REI recommends the following remedial work be performed:

- Replace all roof areas. Due to the varying thickness and sizes of the slate, it will be cost prohibitive to attempt to salvage and reuse the slate; therefore REI recommends all slate be replaced and has budgeted accordingly.
- Due to deteriorated joints of cast stone coping, REI recommends cast stone copings be covered with sheet metal coping as part of the roof replacement project.
- Paint perimeter wood fascia/cornice. Establish a quantity allowance for replacement of deteriorated wood fascia components.
- Replace window perimeter sealant and paint wood trim of windows.
- Tuck point deteriorated mortar joints.

VII. OPINION OF CONSTRUCTION COST/ENGINEERING FEES

Based on the anticipated scope of work for this project, the opinion of probable construction costs and proposed engineering fees are:

- Opinion of Probable Construction Costs:
 - Roof Areas A, B, C, H, I and K Replacement (Slate)..... \$215,075.00
 - Roof Areas D, E, F, G and J Replacement (Low Slope)..... \$71,700.00
 - Wood Fascia/Cornice Painting \$10,000.00
 - Wood Window Sealants and Painting..... \$20,000.00
 - Masonry Mortar Joint Tuck Pointing (2,000 Linear Feet)..... \$20,000.00
 - Structural Repair of Area C Roof Framing..... TBD*
 - Contingency Allowance..... \$20,000.00
 - **Construction Total**..... **\$356,175.00**
- *To be determined after completion of structural assessment of Roof Area C.
- Anticipated Engineering Fees:
 - Contract Documents \$17,900.00
 - Area C Roof Framing Structural Assessment..... \$5,000.00
 - Construction Administration..... \$14,300.00
 - **Engineering Fees Total**..... **\$37,200.00**
- **Total Estimated Project Cost**..... **\$393,375.00**

Upon request, REI will provide a proposal for our recommended Contract Documents and Construction Administration.

VIII. PHOTOGRAPHS



Photo 1: Front Entrance Elevation



Photo 2: Areas A and B Elevation



Photo 3: Area A Elevation



Photo 4: Areas I and J Elevation



Photo 5: Areas J and G Elevation



Photo 6: Areas G and F Elevation



Photo 7: Area A Elevation



Photo 8: Area A and B Overview



Photo 9: Area C Overview



Photo 10: Area C Overview



Photo 11: Area A Overview

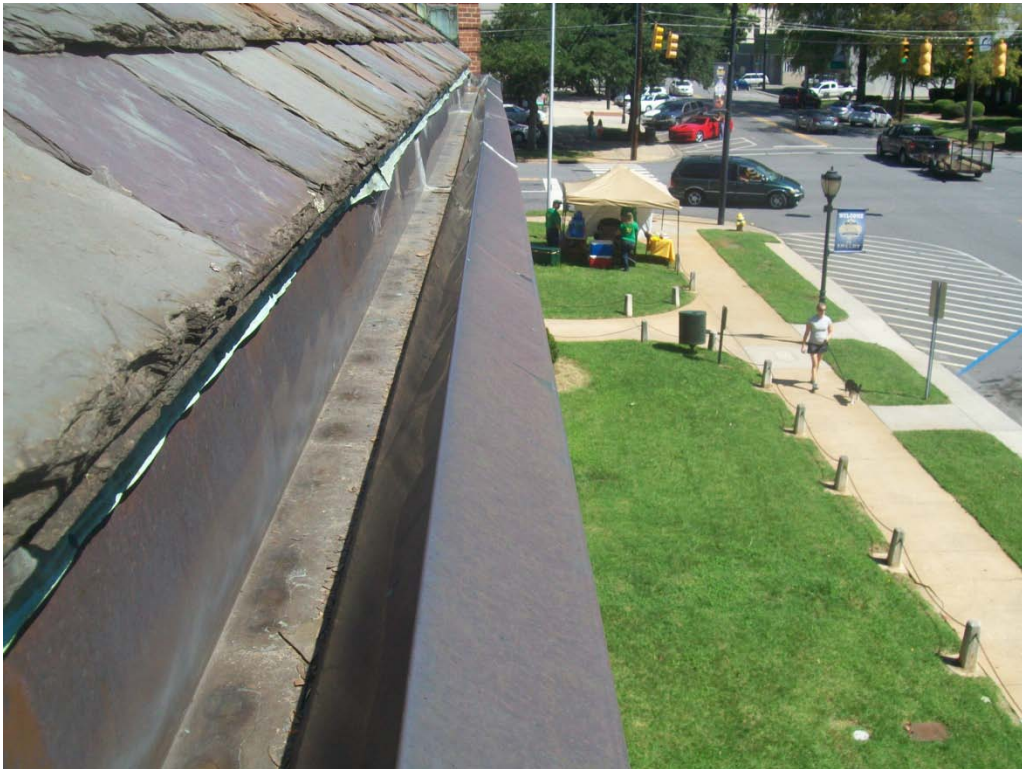


Photo 12: Typical Built-in Gutter Condition



Photo 13: Typical Step Flashing and Counter Flashing Condition



Photo 14: Open Cricket/Flashing Condition at Area C to Area E connection



Photo 15: Area C Spire



Photo 16: Area D Overview



Photo 17: Area F Overview



Photo 18: Area D Overview



Photo 19: Area E Overview



Photo 20: Area E - Missing Cast Stone Coping and Open Flashing



Photo 21: Area G Overview



Photo 22: Area G Overview



Photo 23: Area G Overview



Photo 24: Area H Overview



Photo 25: Areas I and K Overview



Photo 26: Area I Dormers



Photo 27: Area J Overview



Photo 28: Area J Overview



Photo 29: Area J Overview



Photo 30: Transition from Area I to Area J



Photo 31: Typical Cast Stone Coping



Photo 32: Typical Cast Stone Coping Joint



Photo 33: Typical Window Condition



Photo 34: Typical Window Condition



Photo 35: Wood Fascia/Cornice Condition Damage (Minimal Throughout)



Photo 36: Typical Wood Fascia/Cornice Condition

DRAWN BY: LBB
 SCALE: 3/4" = 10'
 REVISION PROJECT NO: 14CLT-237
 DRAWING: A

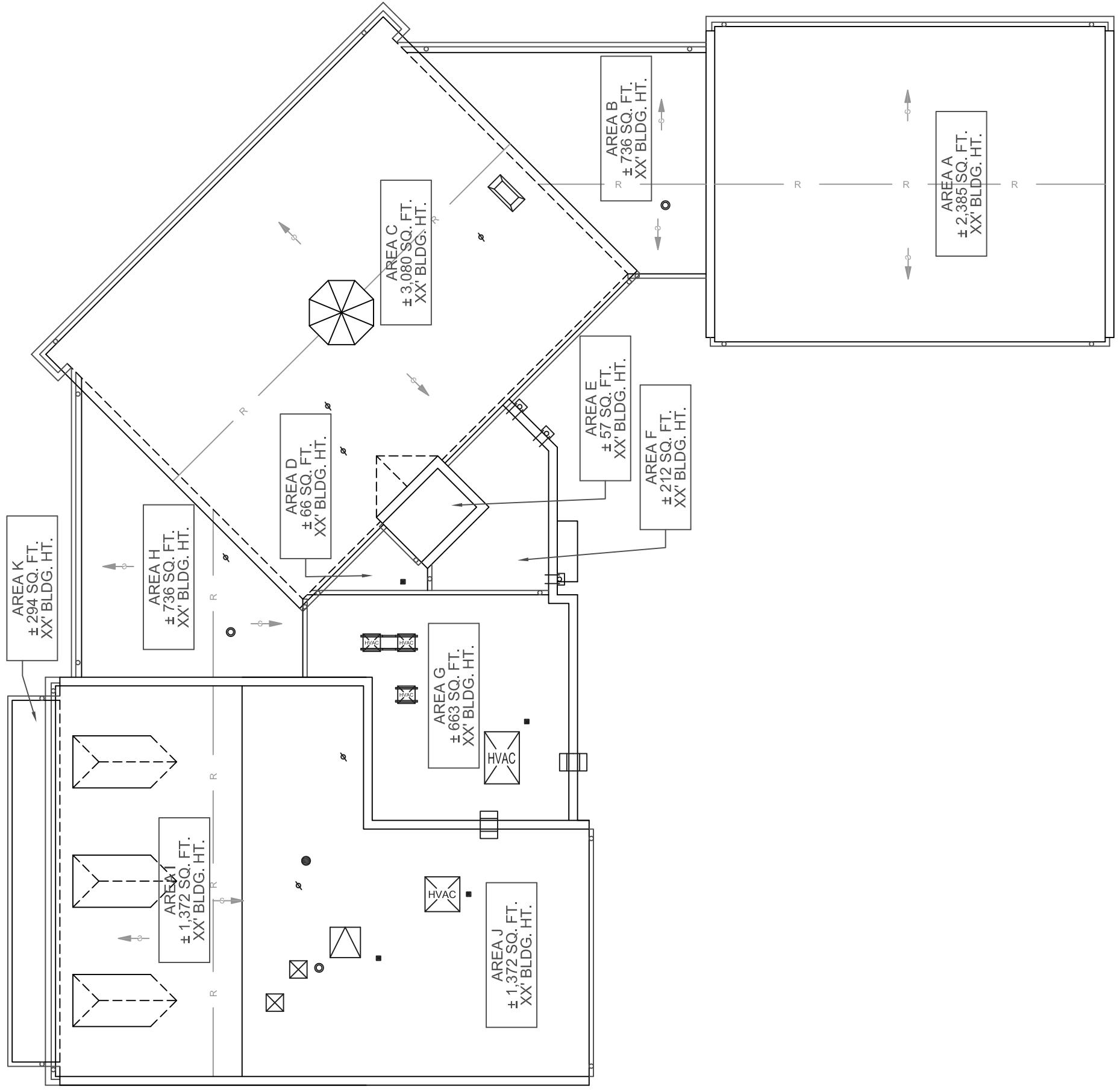
ROOFING, WATERPROOFING AND BUILDING
 ENVELOPE ENGINEERS AND CONSULTANTS
 AN EMPLOYEE-OWNED COMPANY
 www.retengeers.com
 1927 J.N. PEASE PLACE, SUITE 201, CHARLOTTE, NC 28262



ROOF PLAN
 CITY OF SHELBY
 CITY HALL
 ROOF EVALUATION

REVISIONS	
NO.	DATE
1	
2	
3	
4	

DATE: 09-12-2014

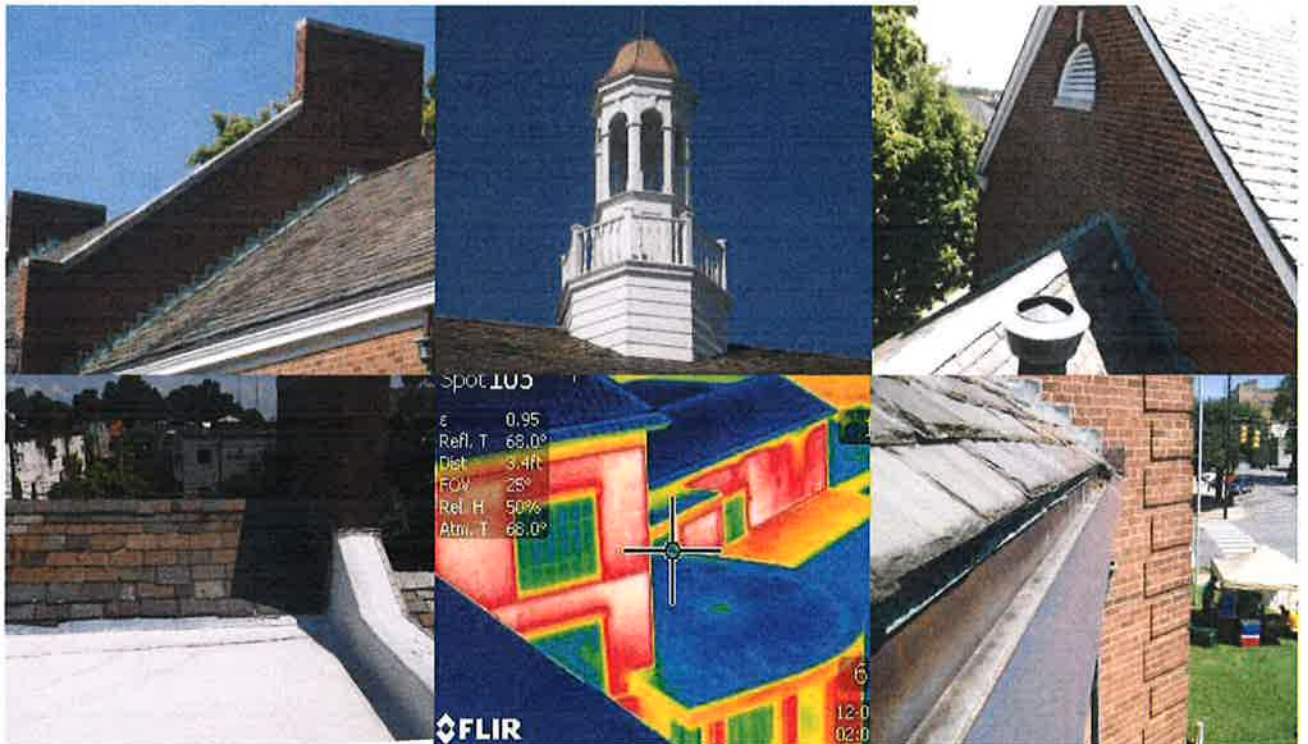




1927 JN PEASE PLACE | SUITE 201 | CHARLOTTE, NORTH CAROLINA, 28262 | www.REIENGINEERS.COM

REQUEST FOR QUALIFICATIONS FOR
ARCHITECTURAL SERVICES
CITY OF SHELBY
CITY HALL ROOF PROJECT
DUE: 14:00 4 FEB 2022

SPECIALIZING IN THE SCIENCE OF
ROOFING | WATERPROOFING | EXTERIOR WALLS | PAVEMENT



Engineering solutions for tomorrow®

ATTN: TODD FRASHIER | PURCHASING MANAGER
CITY OF SHELBY
824 W. GROVER STREET | SHELBY, NC 28150



4 February 2022

Attention: Todd Frashier | Purchasing Manager
Reference: CITY OF SHELBY | CITY HALL ROOF REPLACEMENT

Dear Mr. Frashier:

Thank you for your consideration of our Letter of Interest and Qualifications Packet for this contract with the **City of Shelby** to provide professional roofing services for **City Hall**. Our firm performed the roof evaluation of the building back in 2014, so our in-depth familiarity with the property would provide unique value to the **City of Shelby**. REI also performed roof renovations on the adjacent Police Department building, in which the roof systems are identical to **City Hall**. As one of the largest Building Enclosure firms in the Eastern United States, we specialize in roofing, waterproofing, exterior and pavement, replacement, repair and restoration projects, specifically for municipal facilities throughout North Carolina. We have experience with every type of roof system and know how to maximize your budget to provide the most cost effective, long-term solution.

Why should the **City of Shelby** select REI to provide roofing professional services?

1. Expertise

REI maintains all in-house personnel and technology to provide building enclosure evaluation (roof systems, windows, exterior walls), investigation, design, construction administration and quality assurance monitoring services. Our staff has the internal manpower and know-how to guide services through design, construction, and post acceptance. The benefits that **City of Shelby** will gain from this highly trained staff is informed and technically sound investigation, design and construction administration services.

Our Professional Engineers are licensed in the State of North Carolina, and twenty-seven (27) states across the US, in addition to the US Virgin Islands. REI employs the largest contingent of IIBEC (the International Institute of Building Enclosure Consultants) registered professionals of any firm in the United States. Our PE's, Project Managers, and Technicians are actively involved in IIBEC and maintain appropriate certifications as Registered Roof Consultants, Registered Waterproofing Consultants, Registered Exterior Wall Consultants, and Registered Building Enclosure Consultants. These designations require hours of experience and continuing education, as well as references.

2. Attention to Detail

Our plans are developed for each facility's individual needs. REI's involvement in monitoring the construction ensures that the design of the roof is installed as specified, so it performs for years to come. We ensure that every detail is attended to, with active involvement in the process and transparent documentation along the way. This empowers your facility manager to understand the details of each roof system and how to maintain these assets for longevity.

We are confident that the **City of Shelby** will find REI to be uniquely qualified for the award of this contract. Our recommendations and designs are strictly established with YOUR needs being the sole consideration. Please do not hesitate to contact us if you have any questions or require additional information. We appreciate your consideration and look forward to building a relationship with the **City of Shelby**.

Respectfully submitted,

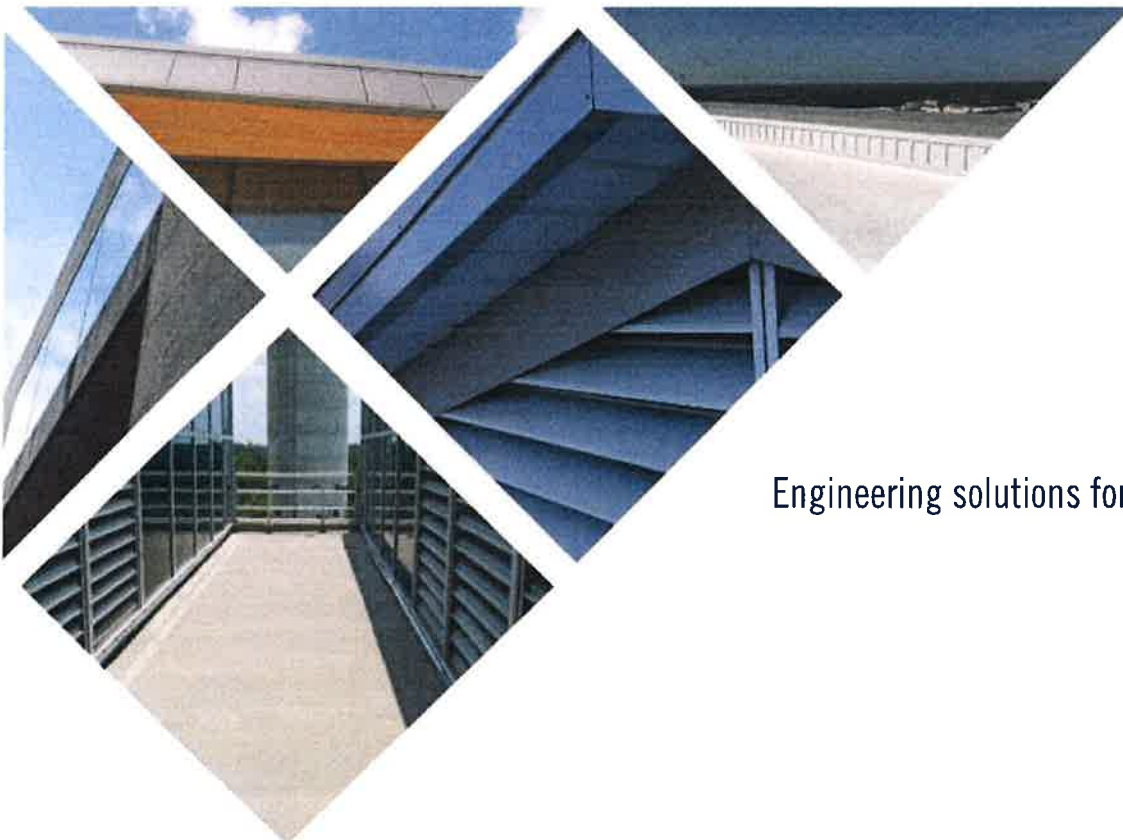
A handwritten signature in black ink that reads 'David Honeycutt'.

David Honeycutt, RBEC®, RRC®, RWC®, REWC®, RRO®
CLT Branch Manager
800.495.9028 x 228 | DHONEYCUTT@REIENGINEERS.COM

Engineering solutions for tomorrow®



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3	EXPERIENCE AND REFERENCES	17
4	MANAGEMENT AND ORGANIZATIONAL APPROACH	23



Engineering solutions for tomorrow®

1. FIRM

- REI Engineers, Inc. (REI)
- office locations shown below
- Office phone: 704.596.0331 x 228
- Fax number: 704.596.0533
- E-mail: dhoneycutt@reiengineers.com

CORPORATE / RALEIGH

9121 ANSON WAY
SUITE 100
RALEIGH, NC 27615
P: 800.495.9028

CHARLOTTE

1927 JN PEASE PLACE
SUITE 201
CHARLOTTE, NC 28262
P: 704.596.0331

CHARLESTON

2090 EXECUTIVE HALL ROAD
SUITE 115
CHARLESTON, SC 29407
P: 843.225.6272

TAMPA BAY

857 COUNTY ROAD 1
PALM HARBOR, FL 34683
P: 813.944.2137

VIRGINIA BEACH

2697 INTERNATIONAL PKWY
PARKWAY 3, SUITE 106
VIRGINIA BEACH, VA 23452
P: 757.961.7224

MECHANICSBURG

503 COCKLIN STREET
MECHANICSBURG, PA 17055
P: 757.523.4034

WESTMINSTER

CONSTRUCTION SCIENCE & ENGINEERING,
AN REI ENGINEERS COMPANY
218 EAST MAIN STREET
WESTMINSTER, SC 29693
P: 864.647.1065

2. STRUCTURE OF FIRM

- S-Corporation
- REI is an independent, employee-owned engineering firm that has grown to ninety-one (91) professionals in 2022. Established in Raleigh, NC, the current location of our corporate office is 9121 Anson Way, Ste 100, Raleigh, NC 27615. REI now has seven (7) offices across five (5) states. REI has worked with many municipalities throughout North Carolina.

3. YEARS IN BUSINESS

- Twenty-five (25) years providing engineering services in the areas of roofing, waterproofing, exterior wall systems—the Building Enclosure (BE)—and pavement management.

4. FIRM PRINCIPALS

- Scott Hinesley, PE (NC # 025907), RRC® – President | 24 Years with Firm
- Dave Madonia, RBEC®, RRC®, RWC®, REWC®, RRO® – Executive Vice President of Operations | 20 Years with Firm
- Ken Tyner, PE (NC # 026512), RRC® – Executive Vice President of Administration | 17 Years with Firm
- V. Kevin Burch, PE (NC # 028410) – Vice President; Branch Manager, Greenville (NC) | 12 Years with Firm
- Steve Hentz, PE, RBEC®, RRC®, RWC®, REWC®, REWO® – Vice President; Branch Manager, Mechanicsburg | 17 Years with Firm
- Charlie Arnold, PE (NC # 040688), BECxP, CxA+BE, RRO® – Branch Manager, Charleston | 11 Years with Firm
- David Honeycutt, RBEC, RRC, RWC, REWC, RRO® – Branch Manager, Charlotte | 20 Years with Firm
- Ron McKaskel, RRO® – Branch Manager, Raleigh (HQ) | 6 Years with Firm
- Bill Schultz, PE (FL # 43412), RRC® – Vice President; Branch Manager, Palm Harbor | 2 Years with Firm
- Zach Cox, PE (VA # 0402059201) – Branch Manager, Virginia Beach | 4 Years with Firm
- Josh Lusk, REWO®, RRO® – Branch Manager, Westminster | 6 Years with Firm
- Derek (Derek) Arthur Hodgin, PE, RRO®, RRC®, RWC®, REWC®, RBEC®, CDT, CCCA, CXLT – President of Construction Science & Engineering, Inc., an REI Engineers, Inc. company | 18 years with Firm

5. PRIMARY CONTACT

- David Honeycutt, RBEC®, RRC®, RWC®, REWC®, RRO® | Charlotte Branch Manager / Principal In Charge
- Office phone: 704.596.0331 x 228
- Fax number: 704.596.0533
- E-mail: dhoneycutt@reiengineers.com

6. ORGANIZATIONAL DESCRIPTION

- As stated on the last page, REI has seven (7) offices across five (5) states. Our corporate office is located in Raleigh, NC and all engineering services for this project would be managed from our Charlotte, NC office. The organizational chart for REI's proposed team is provided in Divider 2.

7. FIRM'S PHILOSOPHY

- REI is invested in both our clients and our employees with an unwavering commitment to excellence. REI is 100% employee-owned, so each one of our representatives is dedicated to achieving success for our clients. We believe in the value of communication and collaboration in order to cultivate and maintain long-term relationships with clients and employees.
- With diverse backgrounds in contracting, materials manufacturing, engineering and architecture; we get how facilities are designed, constructed and maintained. This informs our understanding and design of solutions for moisture-related issues.

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1. BRIEF HISTORY AND SERVICES ROUTINELY PROVIDED

With twenty-five (25) years of expertise, REI Engineers (REI) can proactively advise - before costly problems arise - if current roof and building enclosure systems will result in unwelcome and expensive moisture-related surprises.

As one of the largest Building Enclosure firms in the Eastern United States, we specialize in roofing, waterproofing, exterior and pavement, replacement, repair and restoration projects. We maintain all in-house personnel and technology to provide building enclosure evaluation, investigation, design, construction administration and quality assurance monitoring services. A Project Manager and experienced personnel with appropriate International Institute of Building Enclosure Consultants (IIBEC) certifications will be assigned to this project ensuring both the technical and safety requirements are met. Members specialize in design, investigation, repair, and management of roofing, exterior wall, and waterproofing systems. Resumes of the personnel assigned to this project are included in this response.

As an independent consulting firm without association or allegiance to specific manufacturers, contractors, or materials, REI's expertise extends across multiple alternatives and allows us the flexibility to provide you with the most appropriate, cost effective solutions for each project. Our focus on identifying specific needs combined with high client involvement and feedback results in the right solution for each unique condition.

PROFESSIONAL DESIGNATIONS, REGISTRATIONS AND CERTIFICATIONS

Active firm participation in IIBEC and other industry organizations has resulted in a team of specialized building enclosure professionals. REI actively supports employee engagement in IIBEC which provides opportunities for continuing education and certification. IIBEC designations require significant years of experience and rigorous testing. In addition to having licensed Professional Engineers in each of our offices, REI's team includes the following professional registrations:

REI ENGINEERS, INC. PROFESSIONAL DESIGNATIONS, REGISTRATIONS AND CERTIFICATIONS			
19	(PE) Professional Engineer	3	(FAA) Certified Part 107 Drone Pilot
16	(RRC®) Registered Roof Consultant (IIBEC)	1	(AIA) Architect
35	(RRO®) Registered Roof Observer (IIBEC)	1	(LEED® AP) USGBC LEED® Accredited Professional
6	(RBEC®) Registered Building Enclosure Consultant (IIBEC)	1	(CFMP) Certified FenestrationMaster® Professional
9	(REWC®) Registered Exterior Wall Consultant (IIBEC)	1	(CMA) Certified Moisture Analyst
6	(RWC®) Registered Waterproofing Consultant (IIBEC)	1	(ACEM) Accredited Commercial Energy Manager
5	(REWO®) Registered Exterior Wall Observer (IIBEC)	2	(CCCA) Certified Construction Contract Administrator
14	(CDT®) Construction Document Technologist	1	(CCS) Certified Construction Specifier
1	(CBEI) Certified Building Enclosure Inspector	4	(NCDOT) Certified QMS Roadway Technician
2	(CxA+BE) Commissioning Authority and Building Enclosure	2	(NCDOT) Certified QMS Level I Plant Technician
2	(CEI) Certified EIFS Inspector	1	(NCDOT) Level I Certified Erosion and Sediment Control/ Stormwater Installer
3	(BECxP) Building Enclosure Commissioning Process Provider		

The registration title abbreviations: RRC, RRO, RWC, REWC, REWO, and RBEC are registered trademarks of IIBEC. <https://iibec.org/professional-registrations/>



INTERNATIONAL INSTITUTE OF BUILDING ENCLOSURE CONSULTANTS (IIBEC) CERTIFICATIONS

PROFESSIONAL REGISTRATIONS

Registered Roof Consultant – RRC®

RRC's are independent roofing experts with industry-wide knowledge of materials performance and design requirements. They stand apart from suppliers, product manufacturers and contractors. An RRC is knowledgeable of every facet of the roof construction process and serves as the building owner's councilor for matters pertaining to both existing and new construction. Registered Roof Consultants are consultants with distinction among their peers. They have proved themselves ethically sound and professionally adept through a computer-based exam, character reference, and documented experience. The demand for the RRC title by private clients and public agencies continues to grow rapidly as the industry recognizes the value of the RRC's quantified skill-set.

Registered Roof Observers – RRO®

RRO's are roofing quality assurance observers who monitor the construction process to assure that roofing projects stay in compliance with approved construction drawings, specifications, and best-practice or warranty stipulated installation procedures. An RRO is an on-site monitor for the design team. The observer's vigilance helps keep construction on track with milestone tasks, deadlines, and budget. Registered Roof Observers are quality assurance observers who, like RRCs, have successfully completed a thorough application and examination process. The RRO title is evolving as the preferred standard of practice for quality assurance professionals.

Registered Waterproofing Consultant – RWC®

RWC's have demonstrated knowledge of different waterproofing materials, systems, and installations when reviewing, specifying and inspecting construction projects. These consultants can competently and objectively document, evaluate, recommend, design, and administer above-and below-grade waterproofing projects to provide professional consulting services using applicable building codes and industry standards. Registered Waterproofing Consultants (RWCs) are waterproofing professionals who have proved themselves ethically sound and professionally adept through a computer-based exam, character reference, and documented experience.

Registered Exterior Wall Consultant – REWC®

REWC's have demonstrated the knowledge, skills, and abilities to provide impartial, informed consulting and documentation related to the investigation, design, construction, repair, testing, and codes and standards of exterior wall systems. An REWC has proficient knowledge of wall drainage systems, different exterior wall cladding systems, fenestration assemblies, proper selection of sealants, and forces imposed on exterior wall systems. Registered Exterior Wall Consultants (REWCs) are exterior wall professionals who have proved themselves ethically sound and professionally adept through a computer-based exam, character reference, and documented experience.

Registered Exterior Wall Observer – REWO®

REWO's act as impartial on-site inspectors for the design team. The observer's vigilance helps keep construction on track with milestone tasks, deadlines and budget. A REWO's daily reports will typically include written notes, photography, measurements, and material samples. REWOs act with full authority to inspect all construction materials, equipment, and supplies for quality and compliance with the design team's intent. Registered Exterior Wall Observers are quality assurance observers who, like REWCs, have successfully completed a thorough application and examination process. The REWO title is evolving as the preferred standard of practice for exterior wall quality assurance professionals. REWOs monitor the construction process to ensure that exterior wall systems stay in compliance with approved construction drawings, specifications, and best-practice or warranty-stipulated installation procedures.

Registered Building Enclosure Consultant – RBEC®

RBEC designation is awarded to those who have earned the Registered Roof Consultant (RRC®), Registered Waterproofing Consultant (RWC®), and Registered Exterior Wall Consultant (REWC®) registrations.

The registration title abbreviations: RRC, RRO, RWC, REWC, REWO, and RBEC are registered trademarks of IIBEC.

<https://iibec.org/professional-registrations/>



1. BRIEF HISTORY AND SERVICES ROUTINELY PROVIDED (CONT.)

REI Engineers, Inc. offers the following services:

PROPERTY CONDITION ASSESSMENTS

- Infrared Moisture Surveys
- Wind Uplift Testing
- Pressurized Water Testing
- Core Sampling and Electronic Moisture Surveys
- Expert Visual Observation
- CAD Technical Drawings
- Structural Load Analysis

DESIGNS: DETAILED DRAWINGS AND SPECIFICATIONS

- Bidding (Construction) Documents
- Code Compliance
- Best Practices
- Sustainability
- Primary and Secondary Drainage
- Wind Uplift Resistance
- Structural Loading
- Thermal Resistivity
- Material Compatibility
- Life-Cycle Costing

CONSTRUCTION ADMINISTRATION

- Bid and Award Phase Coordination
- Quality Assurance Monitoring
- Contractor Payment Review and Applications
- Contractor Submittal Review
- Inspections: Pre-Final and Final
- Close-Out Documents

ASSET MANAGEMENT

- Inventory Data
- Leak and Repair Histories
- Inspection Reports
- Maintenance Forecasts and Budgets
- Warranty Information
- Digital Photographs
- AutoCAD Drawings

BUILDING ENCLOSURE COMMISSIONING

Our services extend from Design to Occupancy, ensuring constructibility, material compatibility, and compliance with project documents in relation to building enclosure systems. Installation of components are tested and monitored at each stage in order to avoid the need for costly removal and correction of improper construction.

DESIGN PHASE

- Owner's Project Requirements (OPR) and Basis of Design (BOD)
- Design Review
- Compliance with OPR/BOD
- Verification of Function
- Constructibility
- Material Compatibility

CONSTRUCTION PHASE

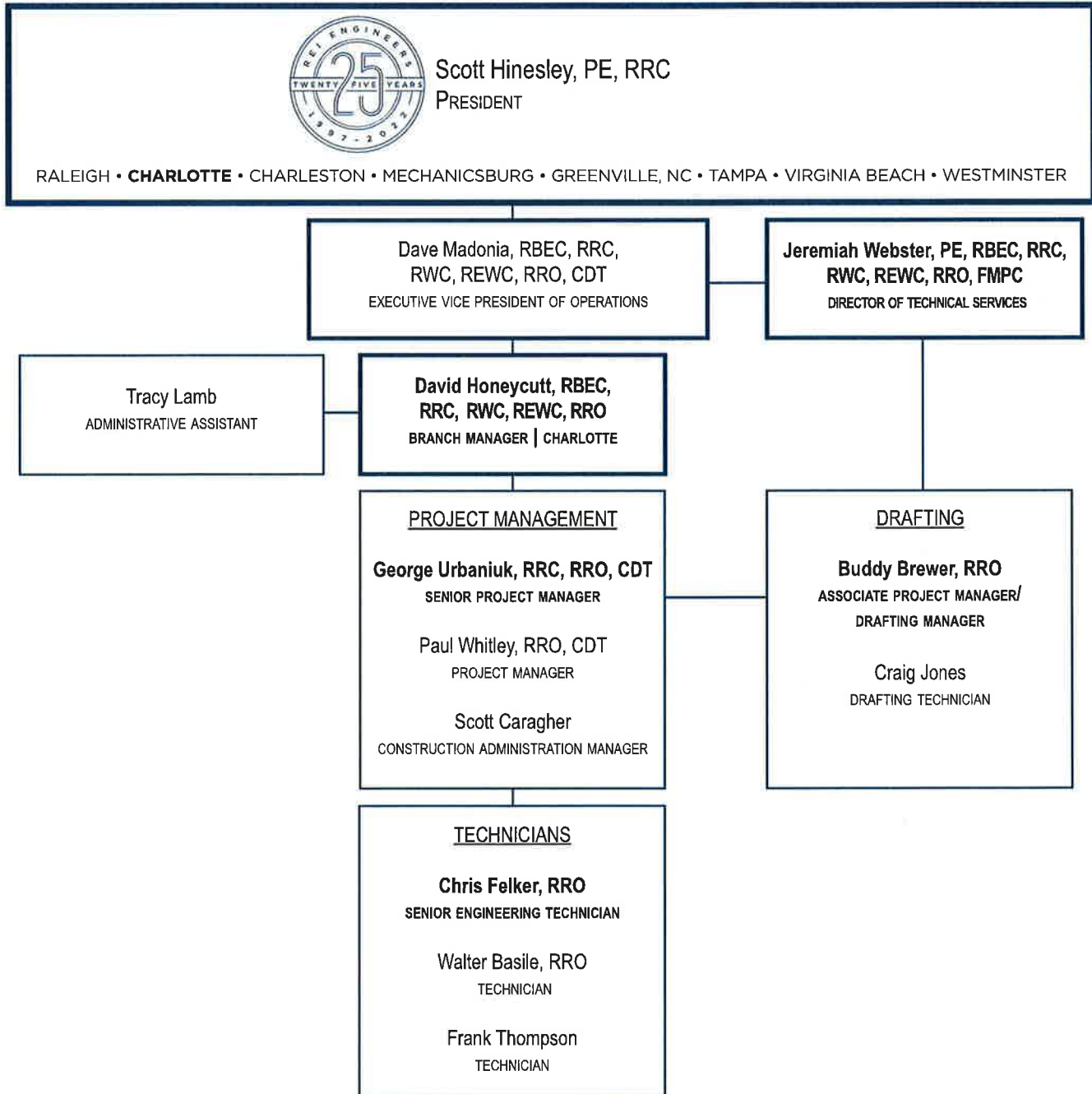
- Submittal Review
- Mock-up Review
- Pre-Construction Meetings
- Commissioning Meetings
- Monitoring
- Testing (Examples of Capabilities)
- AAMA 501.2: Quality assurance and diagnostic water leakage field check of installed storefronts, curtain walls, and sloped glazing systems
- ASTM C 1153: location of wet insulation in roofing systems using infrared imaging
- ASTM C 1193, appendix x1: test methods to determine sealant adhesion characteristics in situ
- ASTM E 783: field measurement of air leakage through installed exterior windows and doors
- ASTM E 1105: field determination of water penetration of installed exterior windows, skylights, doors, and curtain walls, by uniform or cyclic static air pressure difference
- ASTM E 779: determining airtightness of buildings using an orifice blower door
- ASTM D 4541: Air Barrier Adhesion

OCCUPANCY PHASE

- Acceptance of Corrective Actions
- Record Documents
- O&M Training
- Close-out Documents

2. ORGANIZATIONAL CHART

Below is the organizational chart for REI's proposed team. Resumes for key team members in **bold** are provided on the following pages.



3. PROJECT TEAM LEADER

- **David Honeycutt, RBEC®, RRC®, RWC®, REWC®, RRO®** | Charlotte Branch Manager / Principal In Charge

4. RESUMES OF PROJECT TEAM

- Resumes are included on the following pages.



YEARS: 20 WITH FIRM | 26 IN INDUSTRY

EDUCATION

University of North Carolina | Charlotte, NC
Bachelor of Science, Computer Science

REGISTRATIONS

IIBEC: Registered Building Enclosure Consultant (RBEC®) # 0026
IIBEC: Registered Roof Consultant (RRC®) #0593
IIBEC: Registered Waterproofing Consultant (RWC®) #0022
IIBEC: Registered Exterior Wall Consultant (REWC®) #0040
IIBEC: Registered Roof Observer (RRO®) #0824

PROFESSIONAL MEMBERSHIPS

IIBEC member (fka RCI, Inc.) Consultant Affiliate Member | 1999 – Present
IIBEC RWEC® Registration Exam Committee Chair | 2019 – Present
IIBEC RWC® Registration Exam Committee Member | 2018 – Present
IIBEC Registration Exam Development Committees:
• Registered Roof Observer (RRO®) 2017
• Registered Exterior Wall Consultant (REWC®) 2016
• Registered Waterproofing Consultant (RWC®) 2014
• Registered Roof Consultant (RRC®) 2008, 2013
Waterproofing Contractors Association
Member | 2005 – Present
President | 2015 – 2016
Board of Directors 2010 – 2017
WCA Waterproofer of the Year 2015

As the Charlotte Branch Manager, his expert supervision will ensure this project is successfully executed from start to finish. David will oversee the execution of the project and development of specifications and drawings, performing evaluations, calculations, contract administration, construction management, and project quality assurance. He is an esteemed Subject Matter Expert (SME) for IIBEC (fka RCI, Inc.), where he assisted in writing and the review of IIBEC exam items, following strict guidelines that ensure the defensibility and reliability of the new exam.

PROFESSIONAL EXPERIENCE

1419 Graham St. Roof and Window Replacement | City of Charlotte | Charlotte, NC
Alexander Correctional Roof Assessment | NC Dept. of Public Safety | Taylorsville, NC
Founders Hall Roof Replacement and Building Enclosure Designs | Appalachian State University, Boone, NC
Henderson County Facility Assessments | Henderson County | Henderson, NC
Hurricane Florence Roof Assessments | Brunswick County Schools | Brunswick County, NC
Law Enforcement Center Exterior Wall Restoration | City of Charlotte | Charlotte, NC
Landscaping Shop and Biology/Vending Building Roof Replacement | Appalachian State University | Boone, NC
NCDOJ Old Education Bldg. Below-Grade Waterproofing Grout Injections | Draper Aden Associates/NCDOA | Raleigh, NC
NCDOJ Old Education Bldg. Below-Grade Waterproofing Phases I and II | Draper Aden Associates | Raleigh, NC
NCDOJ Old Education Bldg. Green Roof Remediation and Above Grade Waterproofing | Draper Aden Associates/NCDOA | Raleigh, NC
NCDOJ West Campus Dormitory Ext. Wall/Windows Evaluation | Edneyville | Charlotte, NC
NC State Crime Lab Roof Replacement | RND Architects | Raleigh, NC
Plemmons Student Union Roof Replacement | Appalachian State University | Boone, NC
Snow Creek Elementary School Roof Condition Assessment | Catawba County School District | Hickory, NC
South Brunswick High School Field House Roof Replacement | Brunswick County Schools | Brunswick County, NC
South Point High School Roof Replacement | Gaston County Schools | Gastonia, NC
Spartanburg Courthouse Building Enclosure Evaluation | Spartanburg County | Spartanburg, NC
State Building Roof Assessment | UNC-Greensboro | Greensboro, NC
Town Creek and Cedar Grove Assessment | Brunswick County Schools | Brunswick County, NC
West Campus Dormitory Window and Wall Assessment | NCDOJ | Edneyville, NC
Wey Hall Building Condition Assessment | Appalachian State University | Boone, NC



YEARS: 17 WITH FIRM | 18 IN INDUSTRY

EDUCATION

University of North Carolina | Charlotte, NC
Bachelor of Science, Civil Engineering

REGISTRATIONS

IIBEC: Registered Building Enclosure Consultant (RBEC®) # 0026
IIBEC: Registered Roof Consultant (RRC®) #0593
IIBEC: Registered Waterproofing Consultant (RWC®) #0022
IIBEC: Registered Exterior Wall Consultant (REWC®) #0040
IIBEC: Registered Roof Observer (RRO®) #0824
AAMA: FenestrationMaster® Professional Certification (FMPC®)

PROFESSIONAL MEMBERSHIPS AND INDUSTRY INVOLVEMENT

IIBEC member
IIBEC. Educational Programs Instructor
IIBEC: Carolinas Chapter Board Member, Past President, Past Vice President,
Past Treasurer, Past Secretary
ACEC Future Leaders Program
Presenter at IIBEC conferences: 2018, 2019
American Council of Engineering Companies (ACEC) Member
Carolinas Roofing and Sheet Metal Contractors Association (CRSMCA) Member

Jeremiah is responsible for the leadership, strategic vision and oversight of all technical aspects of the company's Technical Operations. He develops and administers guidelines and processes for performing engineering services. Creates, schedules and delivers training programs for employee development. Develops and manages the technical review process. Jeremiah works closely with Branch Managers and Project Engineer/Managers. Provides guidance and serves as a mentor to current and aspiring Project Managers/Engineers.

PROFESSIONAL EXPERIENCE

AC Reynolds High School Gym Roof Replacement | Buncombe County Schools | Asheville, NC
Alexander Correctional Roof Assessment | NC Dept. of Public Safety | Taylorsville, NC
Ardrey Kell High School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Bessemer City High School Replacement | Gaston County Schools | Bessemer City, NC
Cane Creek Middle School Roof Replacement | Buncombe County Schools | Fletcher, NC
Carr Elementary School Roof Replacement | Gaston County Schools | Dallas, NC
Catawba Elementary School Roof Condition Assessment | Catawba County School District | Catawba, NC
City Hall Roof Evaluation | City of Shelby | Shelby, NC
Daimler Fort Mill Building Enclosure Evaluation | Daimler Trucks North America | Fort Mill, SC
Law Enforcement Center Exterior Wall Restoration | City of Charlotte | Charlotte, NC
Fifth and Poplar Roof Condition Assessment | Fifth & Poplar Condominiums | Charlotte, NC
Founders Hall Roof Replacement and Building Enclosure Designs | Appalachian State University, Boone, NC
Henderson County Facility Assessments | Henderson County | Hendersonville, NC
J.T. Williams Middle School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Maiden High School Roof Condition Assessment | Catawba County School District | Maiden, NC
Old Long Creek ES Gym Damage Assessment | Charlotte-Mecklenburg Schools | Huntersville, NC
Plemmons Student Union Roof Condition Assessment | Appalachian State University | Boone, NC
Police Department Roof Renovations | City of Shelby | Shelby, NC
Snow Creek Elementary School Roof Condition Assessment | Catawba County School District | Hickory, NC
Spartanburg Courthouse Building Enclosure Evaluation | Spartanburg County | Spartanburg, NC
Spratt Street Building A Building Enclosure Investigation and Repairs | Mecklenburg County | Charlotte, NC
Windward Data Center Conditions Assessment | United Parcel Service | Alpharetta, GA

**REGISTRATIONS**

IIBEC: Registered Roof Consultant (RRC®) #0877

IIBEC: Registered Roof Observer (RRO®) #1624

CSI: Construction Documents Technologist (CDT®)

PROFESSIONAL MEMBERSHIPS

IIBEC Consultant Member

American Council of Engineering Companies (ACEC) Member

Carolinas Roofing and Sheet Metal Contractors Association (CRSMCA) Member

YEARS: 9 WITH FIRM | 23 IN INDUSTRY

EDUCATION

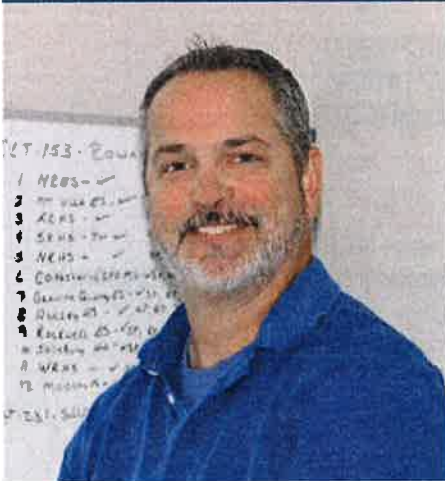
Broward College | Fort Lauderdale, FL

Associates of Science, Civil Engineering Technology

George is experienced in providing roofing and building enclosure consulting services to support projects for clients throughout the Carolinas. Responsibilities on the following projects include evaluation surveys, existing roofing and waterproofing system analysis, failure investigations and destructive and nondestructive testing. As Project Manager, he is responsible for developing specifications and drawings, performing evaluations, calculations, contract administration, construction management, and project quality assurance.

PROFESSIONAL EXPERIENCE

Alexander Correctional Roof Assessment | NC Dept. of Public Safety | Taylorsville, NC
 Atotech Exterior Wall Assessment and Investigation | Atotech USA Inc. | Rock Hill, SC
 East Gaston High School Roof Replacement | Gaston County Schools | Mt. Holly, NC
 Garinger High School 100 and 300 Building Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
 Highland School of Technology Roof Replacement | Gaston County Schools | Gastonia, NC
 Independence Elementary School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
 Henderson County Facility Assessments | Henderson County | Hendersonville, NC
 Mallard Creek ES Areas B, C & D Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
 McApline Elementary School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
 Mt. Holly Middle School Roof Replacement | Gaston County Schools | Mt. Holly, NC
 New Stanley Middle School Assessment | Gaston County Schools | Stanley, NC
 North Mecklenburg High School Areas G1-G6 Replacement CA | Charlotte-Mecklenburg Schools | Charlotte, NC
 Northwestern High School Roof Replacement | Rock Hill School District | Rock Hill, SC
 Oakdale Elementary School Roof Replacement | Rock Hill School District | Rock Hill, SC
 Olympic High School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
 Page Primary School Roof Replacement | Gaston County Schools | Belmont, NC
 Saluda Trail Middle School Phase 1 Roof Replacement | Rock Hill School District | Rock Hill, SC
 Selwyn Elementary School Renovation and Demolition | Charlotte-Mecklenburg Schools | Charlotte, NC
 Spratt Street Building A Building Enclosure Investigation | Mecklenburg County | Charlotte, NC
 State Building Roof Assessment | UNC-Greensboro | Greensboro, NC
 West Campus Dormitory Window and Wall Assessment | NCDOJ | Edneyville, NC

REGISTRATIONS

IIBEC: Registered Roof Observer (RRO®) #1272

South Carolina AHERA Asbestos Inspector: Registration No. BI-01392

PROFESSIONAL MEMBERSHIPS and INDUSTRY INVOLVEMENT

Waterproofing Contractors Association

American Council of Engineering Companies (ACEC) Member

Carolinas Roofing and Sheet Metal Contractors Association (CRSMCA) Member

YEARS: 12 WITH FIRM | 12 IN INDUSTRY

EDUCATION

Central Piedmont Community College | Matthews, NC

Associate of Arts, Computer Operations

Buddy is experienced in providing roofing and building enclosure consulting services to support projects for clients throughout the Carolinas. Responsibilities included evaluation surveys, existing roofing and waterproofing system analysis, failure investigations and destructive and nondestructive testing. As Drafting Manager, he also provides oversight and direction to the drafting team.

PROFESSIONAL EXPERIENCE

AC Reynolds Area I Roof Replacement | Buncombe County Schools | Asheville, NC
 AC Reynolds High School Gym Roof Replacement | Buncombe County Schools | Asheville, NC
 AC Reynolds High School - Partial Roof Replacement | Buncombe County Schools | Asheville, NC
 Administrative Services Roof Replacement | Buncombe County Schools | Brunswick County, NC
 Administrative Services Roof Replacement - H and D2 | Buncombe County Schools | Brunswick County, NC
 Alexander Correctional Roof Assessment | NC Dept. of Public Safety | Taylorsville, NC
 Bolivia Elementary School and Union Elementary School Roof Replacement | Brunswick County Schools | Bolivia/Shallotte, NC
 Cane Creek Middle School - Roof Replacement | Buncombe County Schools | Fletcher, NC
 CD Owen Middle School Areas A2 - A6 Metal Roof Replacement | Buncombe County Schools | Swannanoa, NC
 Daimler Fort Mill Building Envelope Evaluation | Daimler Trucks North America | Fort Mill, SC
 Fifth and Poplar Roof Condition Assessment | Fifth & Poplar Condominiums | Charlotte, NC
 Henderson County Facility Assessments | Henderson County | Henderson, NC
 Hurricane Florence Roof Assessments | Brunswick County Schools | Brunswick County, NC
 Law Enforcement Center Exterior Wall Restoration | City of Charlotte | Charlotte, NC
 Lincoln Elementary School Roof Replacement | Brunswick County Schools | Leland, NC
 Soffitt and Fascia Replacement - 4 Schools | Brunswick County Schools | Brunswick County, NC
 System-wide Evaluation | Buncombe County Schools | Buncombe County, NC
 TC Roberson High School Roof Replacement | Buncombe County Schools | Asheville, NC
 Plemmons Selective Roof Replacement | Appalachian State University | Boone, NC
Police Department Roof Renovations | City of Shelby | Shelby, NC
 Spartanburg Courthouse Building Enclosure Evaluation | Spartanburg County | Spartanburg, NC
 State Building Roof Assessment | UNC-Greensboro | Greensboro, NC



YEARS: 9 WITH FIRM | 16 IN INDUSTRY

EDUCATION

Coring East High School | Corning, NY
High School Graduate 1997

REGISTRATIONS

IIBEC: Registered Roof Observer (RRO®) #1669
SCDHEC Asbestos Certification # BI-01391

PROFESSIONAL MEMBERSHIPS and INDUSTRY INVOLVEMENT

IIBEC member
Certificate of Completion – Fall Protection
Certificate of Completion – Traffic Safety and Flagging
Certificate of Completion – Scaffold Safety Training
Overhead Crane Training
Lull and Forklift Operations Certificate
40 Hour National Asbestos Supervisor Certificate
10 Hour OSHA Training
Boom Truck Training
First Aid/CPR Training
American Council of Engineering Companies (ACEC) Member
Carolinas Roofing and Sheet Metal Contractors Association (CRSMCA) Member

Chris' current responsibilities and those performed on the projects below include managing, scheduling, and training the technician team, construction administration, quality assurance observation, project management, take-offs for evaluations, and asbestos sampling. He expertly manages technicians in the field in order to ensure comprehensive condition assessments and evaluations, reporting and quality assurance observations. Chris will diligently assess and inspect installation of building enclosure materials.

PROFESSIONAL EXPERIENCE

Andrey Kell High School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Carmel Middle School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Cornelius Elementary School Roof Replacement | Charlotte-Mecklenburg Schools | Cornelius, NC
Eastover Elementary Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Henderson County Facility Assessments | Henderson County | Hendersonville, NC
Hurricane Florence Roof Assessments | Brunswick County Schools | Brunswick County, NC
Independence Elementary School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Law Enforcement Center Exterior Wall Restoration | City of Charlotte | Charlotte, NC
McAlpine Elementary School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Olympic High School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Piedmont IB Middle School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Police Department Roof Renovations | City of Shelby | Shelby, NC
Saluda Trail Middle School Phase 1 Roof Replacement | Rock-Hill School District | Rock Hill, SC
Selwyn Elementary School Renovation and Demolition | Charlotte-Mecklenburg Schools | Charlotte, NC
Shuford Elementary School Roof Replacement | Newton-Conover City Schools | Conover, NC
South Charlotte Middle School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Southwest Middle School Gutter Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Spartanburg Courthouse Building Enclosure Evaluation | Spartanburg County | Spartanburg, NC
State Building Roof Assessment | UNC-Greensboro | Greensboro, NC
Tuckaseegee Elementary School Roof Replacement | Charlotte-Mecklenburg Schools | Charlotte, NC
Wey Hall Building Condition Assessment | Appalachian State University | Boone, NC
Windward Data Center Conditions Assessment | United Parcel Service | Alpharetta, GA

5. PROOF OF REGISTRATION IN NORTH CAROLINA



**NORTH CAROLINA BOARD OF EXAMINERS
FOR ENGINEERS AND SURVEYORS**
4601 Six Forks Rd Suite 310
Raleigh, North Carolina 27609

REI Engineers, Inc.
9121 Anson Way, Ste 100
Raleigh, NC 27615

This is to Certify that:

REI Engineers, Inc. is licensed with the North Carolina Board of Examiners for Engineers and Surveyors, and is authorized to practice **engineering** under the provisions of Chapter 89C and 55B of the General Statutes of North Carolina.

This authorization must be renewed annually, and expires on June 30, 2022

License No. : C-1520



**THE NORTH CAROLINA BOARD OF
EXAMINERS FOR ENGINEERS
AND SURVEYORS**

Executive Director

POST IN PLACE OF BUSINESS

Issued 06/08/2021

1. EXPERIENCE WITH GOVERNMENT AGENCIES

Since our inception, REI has provided roof engineering services to many municipalities and governmental agencies throughout the Carolinas. Below is a select list highlighting some of that experience.

STATE	NAME	PROJECTS	SCOPE OF SERVICES
NC	Buncombe County General Services	2	Roof Replacements
SC	City of Charleston	9	Roof Replacements/Repairs, Evaluations
NC	City of Charlotte	48	Roof Replacements/Repairs/Retrofits, Building Enclosure Repairs, Leak Testing
SC	City of North Charleston	22	Roof Replacements, Inspections, Evaluations, Assessments, Building Enclosure Restoration
NC	Davidson County	6	Roof Replacements/Repairs, Building Enclosure Repairs, Water Testing, Evaluations
NC	Durham County	21	Roof Replacements, Investigations, Assessments
NC	Henderson County	8	Roof Replacements, Leak Investigation, Assessments
NC	Lincoln County	12	Roof Replacements, Wall Restoration, Sampling, Paving, Sidewalk Design, Erosion Control Plan
NC	Mecklenburg County	39	Roof Replacements/Repairs, Building Enclosure Restoration, Waterproofing, Investigations
NC	North Carolina Department of Administration	5	Roof Replacement/Renovations,
NC	North Carolina Department of Agriculture	8	Roof Replacements, Peer Review
NC	North Carolina Department of Justice	7	Roof Replacements
NC	North Carolina Department of Public Instruction	3	Roof Replacements/Reno, Drainage Repairs
NC	North Carolina Department of Public Safety	26	Roof Replacements/Recover, Roof Survey, Investigations
NC	North Carolina School of Science and Mathematics	7	Roof Replacements/Repairs
NC	North Carolina Zoological Park	9	Roof Replacements, Assessments
NC	Person County General Services	33	Roof Replacements, Inspections, Evaluations, Assessments, Building Enclosure Restoration
NC	Rowan County	10	Roof Replacements, Building Enclosure Repair
SC	SC Department of Disabilities and Special Needs	17	Roof Replacements/Repairs, Evaluations, Assessments
NC	Town of Garner	3	Roof Replacements, Leak Investigation, Assessments
NC	Town of Zebulon	20	Roof Replacements/Repairs/Retrofits, Building Enclosure Assessments/Repairs, Leak Testing
NC	Wake County	144	Roof Replacements, Assessments, Surveys, Evaluations, Waterproofing, Building Enclosure Repairs, Leak Investigations
SC	York County	4	Roof Replacements/Repairs, Assessments
NC	Zebulon Public Works	18	Roof Replacements, Assessments, Investigations, Water testing, Waterproofing, Building Enclosure Repairs

2. RELEVANT PROJECT EXAMPLES

On the following pages, several projects have been profiled highlighting services relevant to the **City of Shelby's City Hall** roof RFQ.

CITY OF SHELBY | CITY HALL ROOF REPLACEMENT

POLICE DEPARTMENT ROOF RENOVATIONS CITY OF SHELBY | SHELBY, NC



BEFORE



NEAR COMPLETION

COMPLETION DATE: 2014

OWNER: City of Shelby

OWNER CONTACT INFORMATION:

Todd Frashier
824 W. Grover Street
Shelby, NC 28150
704.484.6851

TODD.FRASHIER@CITYOFSHELBY.COM

CONTRACTOR INFO:

Davco Roofing & Sheet Metal
4408 Northpointe Industrial Blvd.
Charlotte, NC 28216
704.817.9788

DESIGN AMOUNT: \$15,500

CONSTRUCTION AMOUNT: \$161,825

PROJECT SIZE: ~6,700 SF

REI worked with the **City of Shelby** on roof renovations for their police department building. The project consisted of two different roof systems:

- 1) Low slope area (approximately 3,200 square feet) consisted of replacing the existing ballasted EPDM roof systems with tapered insulation and a two-ply modified bitumen roof system
- 2) Steep slope areas (approximately 3,500 square feet) consisted of slate repairs which included replacement of broken or damaged slate, replacement of hip and ridge shingles and repair and painting of wood fascia and soffit components.

MULTIPLE FIRE STATION EVALUATIONS AND ROOF REPLACEMENTS CITY OF RALEIGH | RALEIGH, NC



DURING EVALUATION



DURING EVALUATION

COMPLETION DATE: 2010-2017

OWNER: City of Raleigh

OWNER CONTACT INFORMATION:

Chanh Tran
222 W. Hargett Street
Raleigh, NC 27601
919.996.5580

CHANH.TRAN@RALEIGHNC.GOV

CONTRACTOR INFO:

Triangle Roofing Services
221 W Vance Street
Zebulon, NC 27597
919.269.8882

DESIGN AMOUNT: \$13,300

CONSTRUCTION AMOUNT: \$205,968

PROJECT SIZE: Multiple SF

REI provided contract documents and construction administration for the removal of existing roof systems down to the existing structural deck and provided a new roof system along with sheet metal flashing and accessories to provide a complete, watertight, warrantable roof assembly. REI removed chimneys and unused rooftop equipment. Installed metal cladding and soffit system. Installed new gutters and downspouts.

Contract Documents: REI prepared technical specifications for roof removal, installation of insulation, and roof systems.

Construction Administration: during construction for the roof replacement of both steep sloped and low sloped roof areas. Duties included providing advertisement for bids to Johnston County for use in advertising; conducting a pre-bid meeting for potential contractors to review the Contract Documents (created previously under a separate contract) to resolve any questions that may arise during the bid stage of the project; analyzed bids and submitted a certified bid tabulation with recommendation for award; issued a "Notice to Proceed"; reviewed and accepted, as appropriate, shop drawings and submittals as required by the Contract Documents.

McCELVEY CENTER ROOF REPLACEMENT YORK COUNTY | YORK, SC



BEFORE



AFTER

COMPLETION DATE: 2012
OWNER: York County
OWNER CONTACT INFORMATION:
 Lisa Hagood, PE
 6 South Congress Street
 York, SC 29745
 803.684.8571
LISA.HAGOOD@YORKCOUNTYGOV.COM

CONTRACTOR INFO:
 Nations Roof of the Carolinas LLC
 1859 Lindbergh St. #500
 Charlotte, NC 28208
 704.710.6862

DESIGN AMOUNT: \$48,948
CONSTRUCTION AMOUNT: \$152,873
PROJECT SIZE: 25,635 SF

PROJECT SCOPE: The scope of work included the steep slope slate areas, two low slope roof areas, masonry restoration of the five chimneys, painting of the trim and rear fire escape, and wood and glass replacement on the gable dormers.

REI carefully removed the existing slate shingles and stored the unbroken ones for reinstallation. Removed the existing underlayment materials and all associated flashing down to the existing wood deck. Resecured the structural deck to structural framing members, installed a self-adhering underlayment, and then installed a felt underlayment. The team carefully reinstalled the existing slate shingles in the designated areas and installed new slate shingles to replace any broken or damaged shingles in designated locations. Provided new copper metal flashings and accessories to provide a complete, watertight, warrantable roof assembly.

A granule surfaced fluid-applied roof system was utilized on the 2,600 square feet of low slope areas to provide a gray, period-correct appearing surface that is expected to have an extremely long service life and to be able to incorporate matching copper flashing.

WEDGE PLANTATION MAIN HOUSE PARTIAL ROOF REPLACEMENT UNIVERSITY OF SOUTH CAROLINA | COLUMBIA, SC



START OF REPAIRS



AFTER

COMPLETION DATE: 2018
OWNER: University of SC
OWNER CONTACT INFORMATION:
 Al Lindsay, AIA
 1300 Pickens Street
 Columbia, SC
 803.777.1140
LINDSAAA@MAILBOX.SC.EDU

CONTRACTOR INFO:
 DACH ENTERPRISES, INC.
 29 N. BASILICA AVE.
 HANAHAN, SC 29410
 843.364.4279

DESIGN AMOUNT: \$20,500
CONSTRUCTION AMOUNT: N/A
PROJECT SIZE: N/A

PROJECT SCOPE: This project consisted of the design for the replacement of the lower slate roofs, which included deck repair, all new copper flashings, and new gutter and downspout installation. Existing slate shingles were removed, cleaned for reuse, and any damaged pieces were replaced with new slate.

Repairs were done to the upper main roof, which included water testing to repair areas that were leaking and tuck pointing at the two brick chimneys. Chimney caps were also fabricated and installed. REI also provided construction administration services, including submittal reviews, site monitoring, and warranty compliance.

CITY OF SHELBY | CITY HALL ROOF REPLACEMENT

MINT MUSEUM SLATE AND COPPER ROOF REPAIRS/RENOVATIONS CITY OF CHARLOTTE | CHARLOTTE, NC



DURING REPAIRS



SHOWING REPAIRED SLATE

COMPLETION DATE: 2007

OWNER: City of Charlotte

OWNER CONTACT INFORMATION:
Steve Marlowe
600 East Fourth Street
Charlotte, NC
704.336.3225

SMARLOWE@CI.CHARLOTTE.NC.US

CONTRACTOR INFO:
WaynCo Roofing Company
1300 Matthews-Mint Hill Rd.
Matthews, NC 28105
704.814.9566

DESIGN AMOUNT: \$20,000

CONSTRUCTION AMOUNT: \$217,331

PROJECT SIZE: N/A

PROJECT SCOPE: Built in 1835, this historic facility required a replacement of the old standing seam copper roof system and repair of the Buckingham slate shingles. REI removed the copper roof system down to the existing decking and resecured the wood deck to structural framing members. A self-adhering membrane was then installed along with a mechanically attached felt underlayment.

A red rosin paper was then placed down before the installation of the new standing seam copper roof panels. New flashing and sheet metal was also installed. All broken or missing slate was replaced, as well as securing all loose slate. The valley flashing was replaced and provided new hip and ridge flashing.

During construction, REI provided design and construction management services and closely coordinated schedules with the museum operations.

JOHNSTON COUNTY DEPARTMENT SOCIAL SERVICES ROOF REPLACEMENT JOHNSTON COUNTY DSS | SMITHFIELD, NC



BEFORE



NEAR COMPLETION

COMPLETION DATE: 2018

OWNER: Johnston County

OWNER CONTACT INFORMATION:
Daniel Clifton
218 East Johnston Street
Smithfield, NC 27577
919.989.5177

DANIEL.CLIFTON@JOHNSTONNC.COM

CONTRACTOR INFO:
Baker Roofing
4700 Nations Crossing Rd.
Charlotte, NC 28217
704.587.3737

DESIGN AMOUNT: \$14,625

CONSTRUCTION AMOUNT: \$481,000

PROJECT SIZE: 17,401 SF

REI provided contract documents and construction administration for the roof replacement of both steep sloped and low sloped roof areas. Removal of existing roof systems down to the existing structural deck was performed and a new roof system was provided along with sheet metal flashing and accessories to provide a complete, watertight, warrantable roof assembly. REI removed chimneys and unused rooftop equipment. Installed metal cladding and soffit system. Installed new gutters and downspouts.

Contract Documents: REI prepared technical specifications for roof removal, installation of insulation, and roof systems.

Construction Administration: Duties included providing advertisement for bids to Johnston County for use in advertising; conducting a pre-bid meeting for potential contractors to review the Contract Documents (created previously under a separate contract) to resolve any questions that may arise during the bid stage of the project; analyzed bids and submitted a certified bid tabulation with recommendation for award; issued a "Notice to Proceed"; reviewed and accepted, as appropriate, shop drawings and submittals as required by the Contract Documents.

CITY OF SHELBY | CITY HALL ROOF REPLACEMENT

WISE HOUSE ROOF REPLACEMENT UNIVERSITY OF NORTH CAROLINA AT WILMINGTON | WILMINGTON, NC



PROJECT SITE

COMPLETION DATE: 2007
OWNER: UNC - Wilmington
OWNER CONTACT INFORMATION:
 Steve Pickard
 601 South College Road
 Wilmington, NC 28403
 910.962.4169 x 22788
PICKARDSS@UNCW.EDU

PROJECT SCOPE: REI provided engineering design and construction administration services for the roof replacement of this historic building on the University's campus. The existing roof consisted of slate roofing that was approximately 100 years old, and several flat-seam copper roof areas.

The project included the design of new roofing underlayment and new slate roofing, replacement of flat seam copper roofing, and replacement of various sheet metal elements. Also, the repair of masonry and other related building elements was included as well. The project schedule was time sensitive. The project schedule was on "fast-track" and was completed on time and within budget.



AFTER

CONTRACTOR INFO:
 The Century Slate Co. Inc.
 1310 E Cornwallis Rd.
 Durham, NC 27713
 919.544.8890
DESIGN AMOUNT: \$15,600
CONSTRUCTION AMOUNT: \$223,545
PROJECT SIZE: 5,288 SF

RALEIGH MEMORIAL AUDITORIUM ROOF REPLACEMENTS CITY OF RALEIGH | RALEIGH, NC



PROJECT SITE

COMPLETION DATE: 2009
OWNER: City of Raleigh
OWNER CONTACT INFORMATION:
 Chanh Tran
 222 W. Hargett Street
 Raleigh, NC 27601
 919.996.5580
CHANH.TRAN@RALEIGHNC.GOV

PROJECT SCOPE: Provided an assessment of existing roofing on this 1932 structure. Existing metal roofing consisted of tin panels that were coated to appear like aged copper. The coating had failed and entrapped water beneath the coating was causing the panels to rust.

Based on conditions observed, REI recommended the existing roofing be replaced. In order to maintain the vernacular, the new metal panels were factory-finished with a 20-year, patina-like appearance. Low-slope areas were replaced with an Energy Star-rated, thermoplastic, single-ply membrane. Work was scheduled so as not to impact the performance schedules. REI provided construction management services during construction.



AFTER

CONTRACTOR INFO:
 Owens Roofing
 301 W Cabarrus Street
 Raleigh, NC, 27601
 919.821.0082
DESIGN AMOUNT: \$48,326
CONSTRUCTION AMOUNT: \$563,473
PROJECT SIZE: 29,840 SF

HISTORIC RECORDS BUILDING ROOF REPLACEMENT GASTON COUNTY SCHOOLS | GASTONIA, NC



BEFORE



AFTER

COMPLETION DATE: 2018

OWNER: Gaston County Schools

OWNER CONTACT INFORMATION:

Chip Irby
943 Osceola Street
Gastonia, NC 28053
704.747.5711

HMIRBY@GASTON.K12.NC.US

CONTRACTOR INFO:

Triad Roofing Services
3012 S Elm-Eugene St. Suite H
Greensboro, NC 27406
336.540.0001

DESIGN AMOUNT: \$48,326

CONSTRUCTION AMOUNT: \$96,523

PROJECT SIZE: 5,585 SF

REI was brought on to help save a historic building (the original City of Gastonia school offices) that was experiencing leaks due to deferred maintenance. REI's evaluation noted deteriorated deck conditions where shingles transitioned to single ply membrane. Using a PVC single ply membrane at all areas would be ideal for water tightness, however, the building is in a historic district.

REI assisted in requesting a variance to install a ribbed PVC roof membrane that simulates a standing seam metal roof. After providing several local examples of the type and color of the proposed roof system, the historic commission accepted the proposed roof system in lieu of the shingles.

REI removed the existing roof system down to the existing structural deck and provided new single ply roof system. SIKA SARNAFIL Décor PVC profiles were provided at steep slope roof areas to imitate the appearance of standing seam metal roofing. New louvers were installed at gables along with sheet metal flashing and accessories to provide a complete, watertight, 20-year warrantable roof assembly.

LINCOLN COUNTY COURTHOUSE ROOF REPLACEMENT LINCOLN COUNTY | LINCOLNTON, NC



PROJECT SITE



AFTER

COMPLETION DATE: 2015

OWNER: Lincoln County

OWNER CONTACT INFORMATION:

John Henry
222 W. Hargett Street
Raleigh, NC 27601
704.736.8478

JHENRY@LINCOLNCOUNTY.ORG

CONTRACTOR INFO:

Baker Roofing
4700 Nations Crossing Rd.
Charlotte, NC 28217
704.587.3737

DESIGN AMOUNT: \$15,455

CONSTRUCTION AMOUNT: \$305,000

PROJECT SIZE: 10,700 SF

PROJECT SCOPE: REI was selected to provide the design and construction administration for the roof replacement of this historic courthouse. The final design included replacement of the 3-tab shingles with architectural shingles as well as the replacement of the gravel surfaced built-up roofing on the two low-slope sections with a modified bitumen roof system. Copper was utilized for the sheet metal flashing and internal gutter on the steep-slope areas, while prefinished metal was utilized on the low-slope areas to match the terra cotta and hard coat stucco surfaces.

Work was quickly shifted to after hours, weekends, and holidays as not to disrupt the court sessions below. New roof hatches, PA speaker mounts, and a fixed tilt-up ladder to access the steep-slope areas were added to the scope at the Owner's request.

UNDERSTANDING THE PROJECT AND OUR APPROACH

REI is very familiar with **Shelby's City Hall**. In 2014, our team had the privilege of performing a roof evaluation of **City Hall** to assess the condition of the roof areas.

The facility has ten (10) individual connected roof areas at varying elevations. These areas consist of both steep sloped and low sloped roofs. The steep sloped areas are made up of slate shingles (Vermont slate of varying sizes and dimensions) over felt underlayment. The low sloped areas are aggregate surfacing over coal tar pitch roof membrane over 1/2" wood fiber insulation. Roof drainage varies by roof area, but mainly consists of through wall scuppers and external gutters with downspouts.

Our team also completed roof renovations on the Police Department building, which is adjacent to **City Hall**. The design and roofing systems of both buildings are identical, which gives our team valuable experience in what could be expected on this new project. Working with the **City of Shelby** on that project gives us addition value in that we understand what it takes to complete this type of project within the exact jurisdictional conditions required for the **City Hall** project.

IN-DEPTH EVALUATION AND UNDERSTANDING OF THE CITY HALL'S EXISTING ROOF SYSTEM(S)

After contract initiation with the **City of Shelby**, REI's design process would begin with an in-depth evaluation and investigation of the **City Hall** to determine the configuration of the existing roof system. Though we did an evaluation back in 2014, evaluating the current condition would be essential. This analysis ensures that all issues and design details are addressed to eliminate the possibility of change orders during construction. This process would also include a findings report that would be presented to the **City of Shelby**, laying out REI's recommendations on what repairs would need to be done to the building in its current condition.

ENGINEERING ANALYSES AND COMPLIANCE WITH BUILDING CODES

REI will thoroughly investigate the existing conditions of the building's enclosure to gain an understanding of how the replacement systems will function in conjunction with the existing building components while preserving the established fabric of the building. REI is familiar with all requirements of the current North Carolina Building Code. A Code analysis will be completed to confirm the recommended scope of work is designed in accordance with current code requirements. Our Project Engineers perform engineering analyses to ensure compliance with applicable building codes.

Engineering analysis will include:

- Determine design wind loads in accordance with ASCE 7.
- Analyze primary and secondary (overflow) drainage for compliance.
- Existing and proposed roof system R-Value for compliance.
- Estimate existing and proposed roof system dead load unit weights to determine load change and the need for a structural analysis.
- Review internal and external fire resistive ratings of the proposed assemblies to ensure adequate fire resistive ratings are provided.
- REI will work closely with the successful Contractor in order to submit plans and specifications for review to the City of Shelby Building Inspection Department to ensure a Building Permit is obtained for this project. Furthermore, REI will ensure the Building Permit is properly finalized and closed.

Although this building is not listed on the National Register of Historic Places, REI will design the project to ensure materials are utilized to maintain the historic nature of the building as allowed by the available budget.

Many times, modifications of existing components (for example, adjusting the height of overflow scuppers so as to prevent overloading of the structure) are required. In this case as well, the existing slate shingles will be reassessed to evaluate the possibility of cleaning and reusing them and replacing any broken slate. Such considerations are included in our designs to remove all guesswork for the roofing contractor. Results of this thorough analysis of the existing roofing system are incorporated into our design documents and specifications.

If it is deemed necessary for the building, samples will taken by our certified licensed technicians and forwarded to certified testing laboratories to determine the presence of asbestos-containing materials.

PROJECT DESIGN - SYSTEM SELECTION, DRAWINGS AND SPECIFICATIONS, BUDGET

When developing a comprehensive roof replacement plan, REI will take all factors into consideration when determining the most appropriate roof replacement system including building use, environmental factors such as building location and local climate, and the Owner's long term plan for the facility. The **City of Shelby**'s maintenance capabilities would also be a key factor in determining the appropriate course of action. If the repair/restoration of the existing roof systems is not an option, appropriate alternative systems will be presented.

Specifications and comprehensive scaled drawings are created specifically for each project with details developed to ensure the best long term and watertight solution for each condition present, as well as ensuring the most competitive bids are received. All plans and details are developed and managed with Computer Aided Drafting (AutoCAD).

Frequent communication with the **City of Shelby** would ensure the project requirements are met to your satisfaction. Budgets are determined after the initial field review and updated periodically during the design phase to ensure funding is sufficient for the work prescribed.



City of Shelby-City Hall Roof Replacement

Firm	Technical Approach / Understanding of Project (20%)	Relevant Experience of Proposed Personnel (20%)	Availability of Staff and Resources (20%)	Familiarity with State and Local Requirements and Processes (15%)	Relevant Design Experience (20%)	Location of the Firm Relative to the Project (5%)	Total (average of all scores)
REI Engineers, Inc.	9.0	9.3	9.0	9.3	9.3	8.0	54.0
Upland Architects	7.7	7.8	8.2	9.0	8.3	9.0	50.0
Talley and Smith Architects	8.3	7.8	7.5	8.7	8.0	9.0	49.3

RESOLUTION NO. 27-2022

A RESOLUTION AUTHORIZING THE SELECTION OF
REI ENGINEERS, INC., BASED ON QUALIFICATIONS FOR
ARCHITECTURAL DESIGN FOR CITY HALL ROOF REPLACEMENT PROJECT

WHEREAS, the City of Shelby has identified a need to replace the existing roof on the City Hall facility located at 300 S. Washington Street; and,

WHEREAS, the staff issued a Request for Qualifications to professional architectural firms interested in providing design services for the project; and,

WHEREAS, three (3) proposals were received from firms interested in performing the work associated with the project in accordance with North Carolina General Statute 143-64.31; and,

WHEREAS, City staff has reviewed the proposals and determined that REI Engineers, Inc. is the most qualified firm to perform and provide the services as outlined in the Request for Qualifications.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHELBY, NORTH CAROLINA:

Section 1. The City Council of the City of Shelby hereby desires for the City Manager to enter into negotiations with REI Engineers, Inc., in accordance with North Carolina General Statute 143-64.31 to negotiate a contract for the above referenced project.

Section 2. If a fair and reasonable fee cannot be negotiated with the best qualified firm, negotiations will be terminated and initiated with the next best qualified firm.

Section 3. The City Manager is hereby authorized to execute a contract with a firm after successful negotiations.

Section 4. This resolution shall become effective upon its adoption and approval.

Adopted and approved this the 4th day of April 2022.

O. Stanhope Anthony III
Mayor

Resolution No. 27-2022
April 4, 2022
Page 2

ATTEST:

Carol Williams
Interim City Clerk

APPROVED AS TO FORM:

Andrea Leslie-Fite
City Attorney

City of Shelby
Agenda Item Summary
April 4, 2022
Council Chambers

Agenda Item: C-4

1) Management Reports:

- a. Monthly Financial Summary – February 2022
- b. Monthly Planning and Development Summary – February 2022

Consent Agenda Item: (Rick Howell, City Manager)

- Monthly Financial Summary – February 2022
- Monthly Planning and Development Summary – February 2022

City Manager's Recommendation / Comments

The above listed reports are for City Council information and are placed on the Consent Agenda to ensure documentation that they were formally presented by management during a regular meeting. Information contained within these reports is vital for the Mayor and City Council to provide oversight of the budgetary and financial functions of the City. Questions regarding the content are always welcomed and encouraged. As City Manager it is important for me to hear any concerns from Councilmembers so that I can provide you with answers that adequately address them.

The Finance Director and our external audit team are also always available to Council should concerns arise. This provides Council with direct access to another objective and independent information resource to assist it with fulfilling its fiduciary responsibilities.

Shelby
NORTH CAROLINA

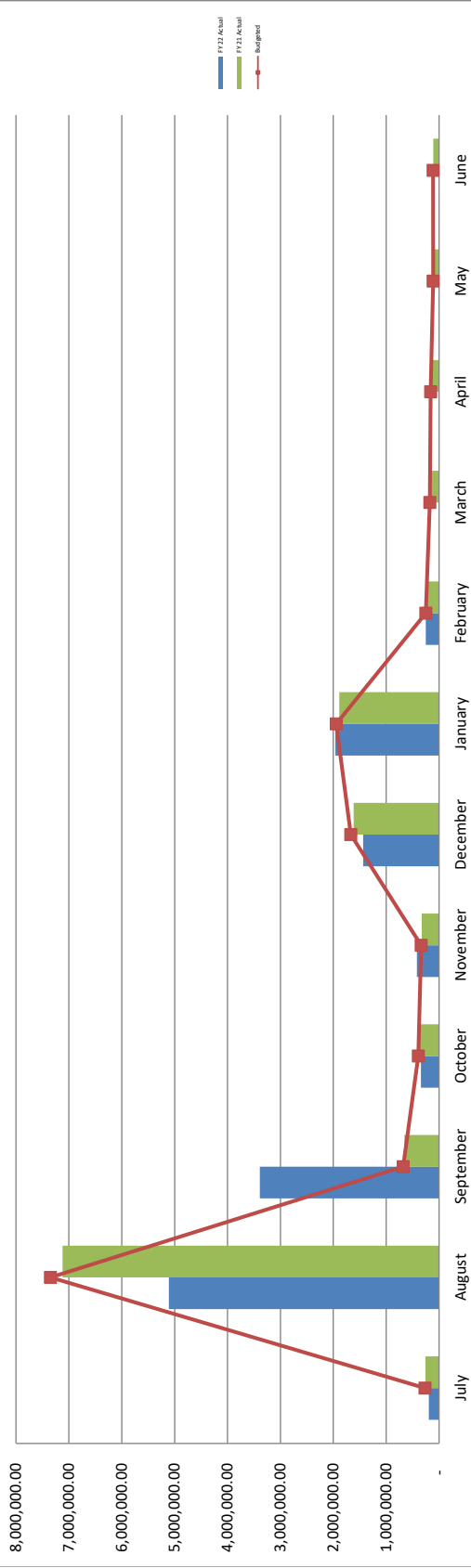


**Monthly Financial Summary
February 2022**

City of Shelby
 Current Property Tax Collections
 FY 2022

	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Budget	266,872.03	7,347,866.86	678,339.62	391,751.34	338,537.34	1,668,045.24	1,946,211.21	251,158.11	175,779.68	159,120.20	111,682.24	115,136.13	13,450,500.00
FY 2021	258,629.06	7,120,910.64	657,387.50	379,651.17	328,080.81	1,616,523.72	1,886,097.88	243,400.50	170,350.31	154,205.40	108,232.67	111,579.88	13,035,049.54
FY 2022	192,874.52	5,110,461.99	3,390,680.59	343,629.74	418,559.07	1,437,847.57	1,963,993.41	252,253.81	-	-	-	-	13,110,300.70
% of Budget	1.43%	37.99%	25.21%	2.55%	3.11%	10.69%	14.60%	1.88%	0.00%	0.00%	0.00%	0.00%	97.47%
Variance	(73,997.51)	(2,237,404.87)	2,712,340.97	(48,121.60)	80,021.73	(230,197.67)	17,782.20	1,095.70	(175,779.68)	(159,120.20)	(111,682.24)	(115,136.13)	(340,199.30)

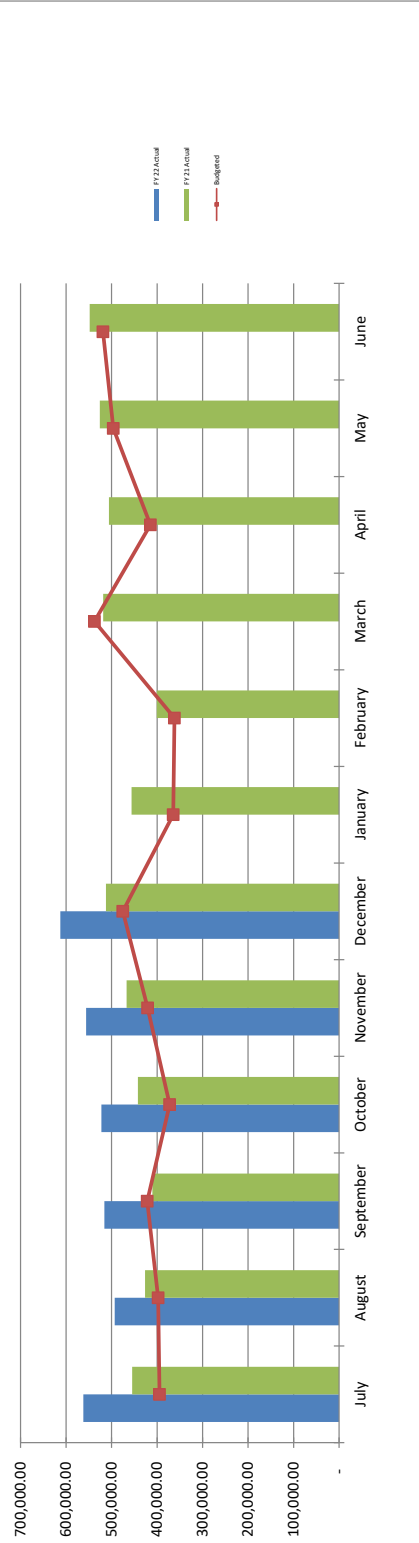
Current Property Tax Collections Budgeted and Collected



City of Shelby
Sales Tax Collections
FY 2022

	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Budget	394,351.82	397,446.29	421,604.76	372,123.31	420,646.68	475,132.30	364,692.02	361,742.33	537,573.72	414,801.75	496,080.53	518,804.51	5,175,000.00
FY 2021	454,615.42	426,384.38	410,452.25	442,297.17	467,100.43	512,492.21	455,885.01	400,803.20	518,480.64	505,892.93	525,880.46	548,176.57	5,668,460.67
FY 2022	561,875.17	493,247.25	515,682.23	522,268.85	555,802.56	612,729.17	-	-	-	-	-	-	3,261,605.23
% of Budget	10.86%	9.53%	9.96%	10.09%	10.74%	11.84%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	63.03%
Variance	167,523.35	95,800.96	94,077.47	150,145.54	135,155.88	137,596.87	(364,692.02)	(361,742.33)	(537,573.72)	(414,801.75)	(496,080.53)	(518,804.51)	(1,913,394.77)

Sales Tax Collections Budgeted and Collected

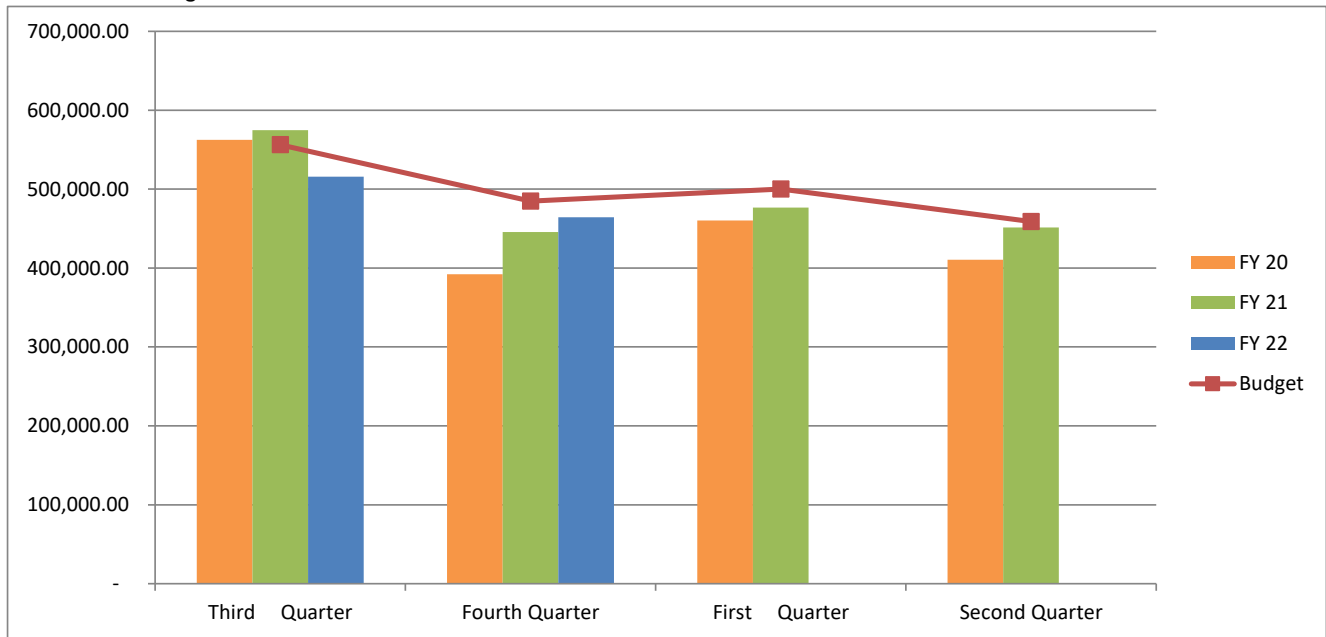


Notes:
Sales Tax Expansion to include Service Contracts: NCGS §105-164.4(a)(11), effective January 2014, has expanded the NC Sales and Use Tax to include "the sales price of a service contract".
A link to the NCDOR directive on this change is embedded here: <http://www.dor.state.nc.us/practitioner/sales/directives/SD-13-5.pdf>

Sales Tax Distribution Method: A link to a description of the individual articles of Sales Tax is embedded here: http://www.dor.state.nc.us/publications/sales/distribution_articles.pdf

City of Shelby
 Utility Sales Tax Distribution (Formerly Utility Franchise Tax)
 Last Three Years

	Third Quarter	Fourth Quarter	First Quarter	Second Quarter	Totals
Collection Period:	(July-Sept.)	(Oct.-Dec.)	(Jan.-Mar.)	(Apr.-June)	
Received in:	December	March	June	September	
FY 20	562,390.96	392,246.27	460,205.55	410,481.08	1,825,323.86
FY 21	574,782.27	445,666.24	476,587.12	451,433.94	1,948,469.57
FY 22	515,722.31	464,401.65	-	-	980,123.96
Budget	556,178.37	484,704.73	500,184.30	458,932.60	2,000,000.00
% of Budget	25.79%	23.22%	0.00%	0.00%	49.01%



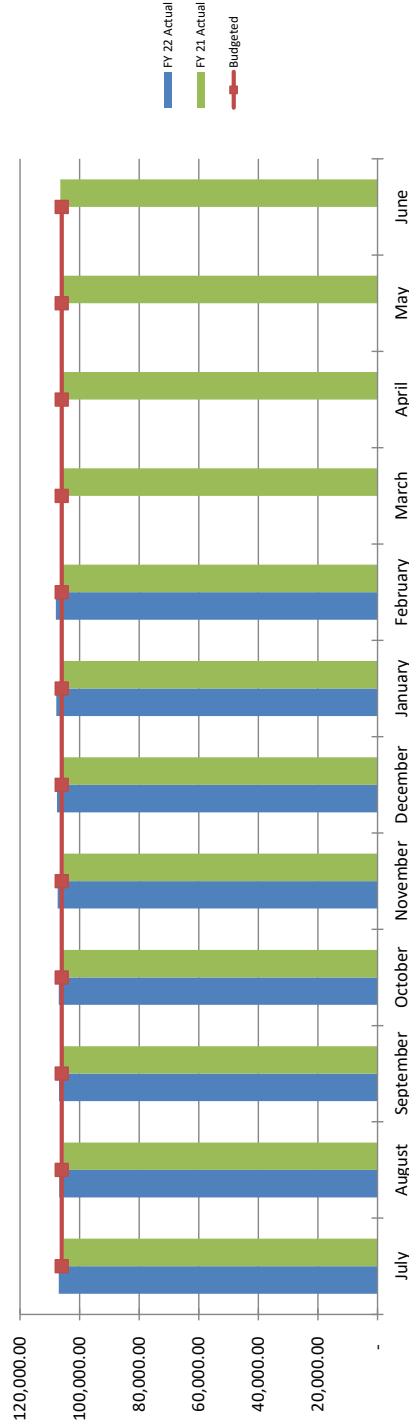
Notes:

Effective July 2014, utility franchise tax was eliminated on sales of electricity and piped natural gas. A "hold harmless" provision will keep local distribution levels at the amounts received during the 2013-14 Fiscal Year.

City of Shelby
Solid Waste Fees
FY 2022

	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Budget	106,000.00	106,000.00	106,000.00	106,000.00	106,000.00	106,000.00	106,000.00	106,000.00	106,000.00	106,000.00	106,000.00	106,000.00	1,272,000.00
FY 2021	105,380.54	105,237.32	105,800.50	105,677.68	105,243.58	105,899.38	105,833.19	105,909.14	106,446.69	106,036.48	106,495.44	106,448.69	1,270,408.63
FY 2022	107,028.51	106,863.30	106,940.27	107,008.94	107,373.25	107,574.77	107,831.27	107,977.54	-	-	-	-	858,597.85
% of Budget	8.41%	8.40%	8.41%	8.41%	8.44%	8.46%	8.48%	8.49%	0.00%	0.00%	0.00%	0.00%	67.50%
Variance	1,028.51	863.30	940.27	1,008.94	1,373.25	1,574.77	1,831.27	1,977.54	(106,000.00)	(106,000.00)	(106,000.00)	(106,000.00)	(413,402.15)
Res. Accts:	7,738	7,718	7,730	7,731	7,760	7,776	7,790	7,793	-	-	-	-	-
Comm. Accts:	674	674	671	677	677	674	677	681	-	-	-	-	-

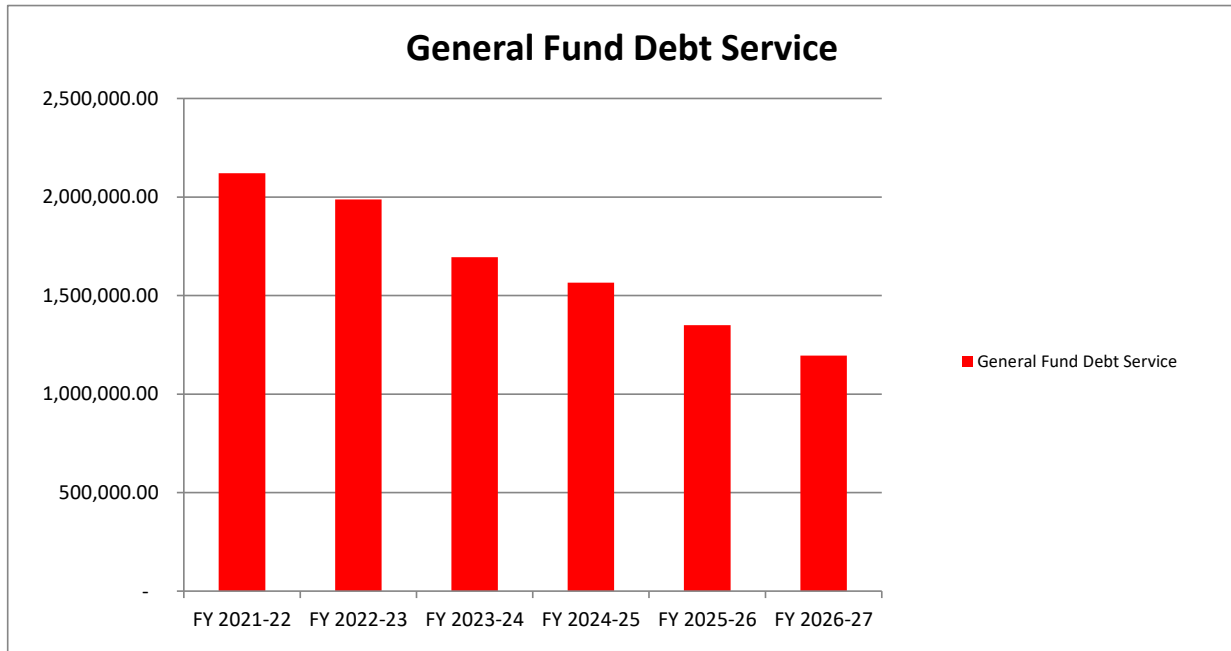
Solid Waste Fees Budgeted and Collected



DEBT SERVICE - GENERAL FUND

	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	FY 2025-26	FY 2026-27
<u>Installment Purchase Contracts</u>						
Hanna Park Recreation Complex Debt Retired In 2032	673,134.00	658,606.66	644,079.33	629,552.00	615,024.66	600,497.33
NS Rail Corridor Purchase Debt Retired In 2029	650,375.00	639,222.22	628,069.44	617,100.00	605,763.89	594,611.11
FY 17 Installment Purchase Debt Retired In 2022	108,238.48	-	-	-	-	-
FY 18 Installment Purchase Debt Retired In 2023	266,389.91	266,389.91	-	-	-	-
FY 19 Installment Purchase Debt Retired In 2024	104,354.77	104,354.77	104,354.77	-	-	-
FY 20 Installment Purchase Debt Retired In 2025	189,692.00	189,692.00	189,692.00	189,692.00	-	-
FY 21 Installment Purchase Debt Retired In 2026	128,617.50	128,617.50	128,617.50	128,617.50	128,617.50	-
Total Debt Service - General Fund	2,120,801.66	1,986,883.06	1,694,813.04	1,564,961.50	1,349,406.05	1,195,108.44

Installment Purchase Contracts are 59-month borrowings for purchase of items such as vehicles and capital equipment.



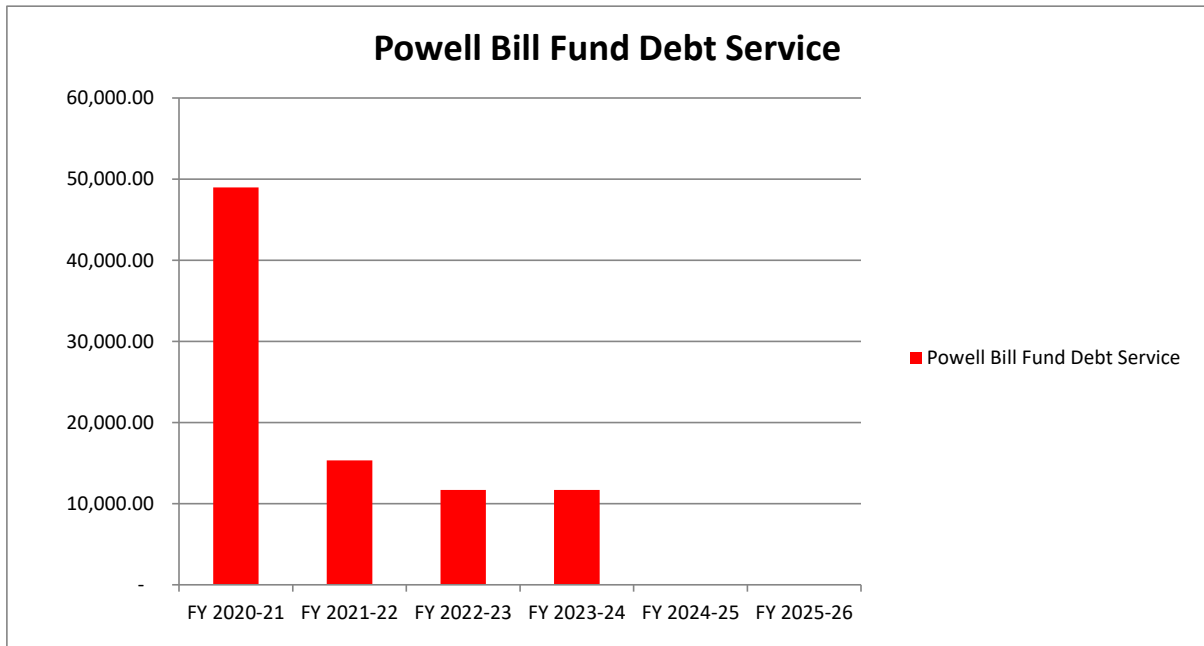
City of Shelby
 For 2022 08 (66.67% of the Fiscal Year)
 General Fund Expenditures by Division

DEPARTMENT	ORIGINAL APPROP	REVISED BUDGET	YTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
TOTAL GOVERNING BOARD	85,921.00	85,921.00	54,136.11	0.00	31,784.89	63.00 %
TOTAL ADMINISTRATION	719,261.00	719,261.00	487,923.29	2,983.91	228,353.80	68.30 %
TOTAL FINANCE	656,717.00	656,717.00	518,667.86	0.00	138,049.14	79.00 %
TOTAL PURCHASING	77,710.00	77,764.00	47,578.69	53.59	30,131.31	61.30 %
TOTAL HUMAN RESOURCES	273,393.00	273,393.00	135,740.36	2,940.32	134,712.32	50.70 %
TOTAL CUSTOMER SERVICE	292,079.00	296,377.00	186,206.15	43,877.50	66,293.32	77.60 %
TOTAL INFORMATION SERVICES	329,919.00	331,621.00	202,175.47	34,262.38	95,183.15	71.30 %
TOTAL METER SERVICE	96,082.00	96,082.00	36,393.39	204.00	59,484.61	38.10 %
TOTAL GARAGE	534,715.00	534,715.00	355,229.73	782.00	178,703.27	66.60 %
TOTAL CITY HALL	452,800.00	452,800.00	77,432.48	0.00	375,367.52	17.10 %
TOTAL POLICE	7,671,563.00	7,703,407.00	5,002,532.10	39,232.75	2,661,642.11	65.40 %
TOTAL COMMUNICATION	794,100.00	794,100.00	463,879.79	0.00	330,220.24	58.40 %
TOTAL FIRE	5,626,296.00	5,645,238.00	3,260,244.41	820,248.10	1,564,745.11	72.30 %
TOTAL BUILDING INSPECTIONS	416,775.00	416,775.00	163,774.82	1,077.99	251,922.19	39.60 %
TOTAL STREETS	1,276,305.00	1,278,052.00	849,082.10	2,330.49	426,639.41	66.60 %
TOTAL AIRPORT	438,275.00	446,030.00	328,340.07	12,258.37	105,431.56	76.40 %
TOTAL SOLID WASTE	2,144,010.00	2,144,010.00	1,237,637.85	358,629.05	547,743.10	74.50 %
TOTAL GIS	54,989.00	87,788.00	72,122.80	3,146.51	12,518.69	85.70 %
TOTAL PLANNING SERVICES	590,950.00	591,376.00	302,836.37	32,566.83	255,972.30	56.70 %
TOTAL SPECIAL APPROPRIATIONS	2,948,525.00	8,742,777.00	6,275,595.77	0.00	2,467,181.23	71.80 %
TOTAL PARKS & RECREATION	1,717,290.00	1,720,148.00	931,121.60	90,124.95	698,901.15	59.40 %
TOTAL MAINTENANCE & CEMETERY	1,596,325.00	1,596,325.00	872,153.51	72,422.87	651,748.62	59.20 %
GRAND TOTAL	28,794,000.00	34,690,677.00	21,860,804.72	1,517,141.61	11,312,729.04	67.38 %

DEBT SERVICE - POWELL BILL FUND

	FY 2020-21	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	FY 2025-26
<u>Installment Purchase Contracts</u>						
FY 17 Installment Purchase Debt Retired in 2022	33,612.66	-	-	-	-	-
FY 18 Installment Purchase Debt Retired in 2023	3,644.52	3,644.52	-	-	-	-
FY 20 Installment Purchase Debt Retired in 2025	11,703.00	11,703.00	11,703.00	11,703.00	-	-
Total Debt Service - Powell Bill Fund	48,960.18	15,347.52	11,703.00	11,703.00	-	-

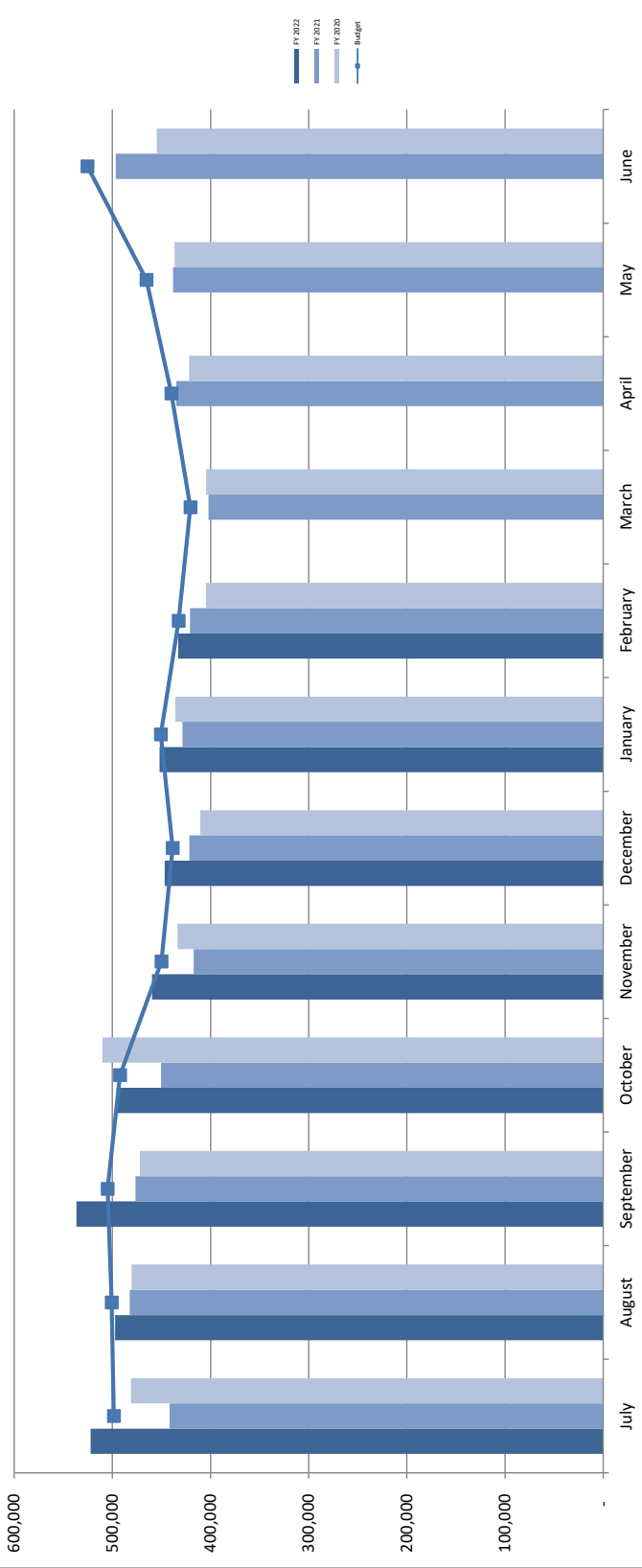
Installment Purchase Contracts are 59-month borrowings for purchase of items such as vehicles and capital equipment.



City of Shelby
Water Revenue Budget to Actual
FY 2022

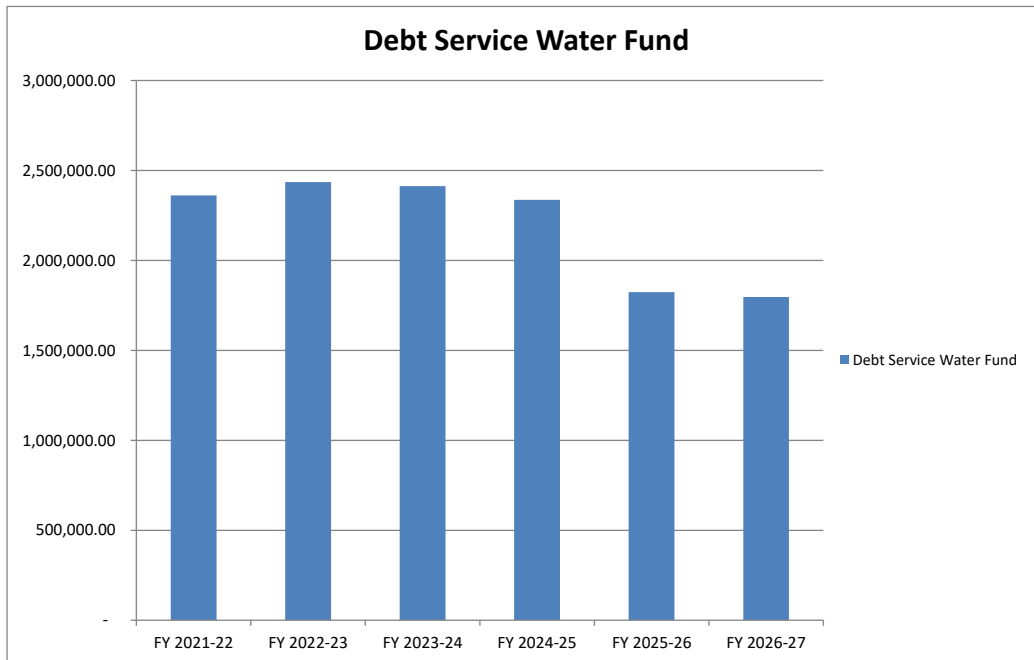
	July	August	September	October	November	December	January	February	March	April	May	June	Total
FY 2022 Budget													
Inside Water													
Useage	132,961	135,912	137,516	130,967	116,874	114,782	120,220	110,024	106,297	114,535	123,558	147,145	1,490,790
Dollars	440,558.64	448,193.27	444,341.63	435,884.36	400,113.12	392,334.71	402,926.15	382,715.01	375,154.16	392,427.58	415,062.20	467,791.58	4,997,502.43
Outside Water													
Useage	15,372	13,571	16,377	14,910	12,691	11,485	11,930	12,803	11,352	11,842	12,840	15,353	160,526
Dollars	57,978.14	52,587.35	60,609.17	56,390.38	49,951.05	46,256.35	47,833.99	49,797.86	45,444.00	47,489.15	50,185.45	57,614.67	622,137.57
Totals	148,333	149,484	153,893	145,878	129,565	126,267	132,150	122,827	117,649	126,376	136,398	162,497	1,651,316
Dollars	498,536.78	500,780.62	504,950.80	492,274.74	450,064.17	438,591.06	450,760.15	432,512.88	420,598.16	439,916.74	465,247.65	525,406.25	5,619,640.00
FY 2022 Actual													
Inside Water													
Useage	147,300	132,769	156,014	136,379	123,193	117,007	124,318	111,539	-	-	-	-	1,048,519
Dollars	465,884	437,870	478,412	441,580	410,286	395,299	406,740	382,611	-	-	-	-	3,418,680.60
Outside Water													
Useage	15,182	16,501	16,094	14,496	12,923	13,678	11,272	13,314	-	-	-	-	113,460
Dollars	56,397	59,395	58,290	54,158	49,260	51,542	45,241	50,453	-	-	-	-	424,736
Totals	162,482	149,270	172,108	150,875	136,116	130,685	135,590	124,853	-	-	-	-	1,161,979
Dollars	522,281	497,265	536,702	495,738	459,546	446,841	451,981	433,064	-	-	-	-	3,843,416.64
Variance													
Inside Water													
Useage	14,339	(3,143)	18,498	5,412	6,319	2,225	4,098	1,515	(106,297)	(114,535)	(123,558)	(147,145)	(442,271)
Dollars	25,325.14	(10,323.43)	34,069.94	5,695.37	10,173.30	2,964.00	3,813.57	(104.18)	(375,154.16)	(392,427.58)	(415,062.20)	(467,791.58)	(1,578,821.83)
Outside Water													
Useage	(190)	2,930	(283)	(414)	232	2,193	(658)	511	(11,352)	(11,842)	(12,840)	(15,353)	(47,066)
Dollars	(1,580.66)	6,807.52	(2,319.17)	(2,232.00)	(691.36)	5,285.63	(2,593.12)	654.91	(45,444.00)	(47,489.15)	(50,185.45)	(57,614.67)	(197,402)
Totals	14,149	(214)	18,215	4,997	6,551	4,418	3,440	2,026	(117,649)	(126,376)	(136,398)	(162,497)	(489,337)
Useage	23,744.48	(3,515.91)	31,750.77	3,463.37	9,481.94	8,249.63	1,220.44	550.72	(420,598.16)	(439,916.74)	(465,247.65)	(525,406.25)	(1,776,223.36)

Water Sales In Dollars - Budget to Actual FY 2021 - 2022



DEBT SERVICE - WATER FUND	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	FY 2025-26	FY 2026-27
<u>Revenue Bonds</u>						
Series 2013A Revenue Bonds Debt Retired In 2029	324,157.13	325,250.01	324,029.73	324,717.52	325,173.82	325,173.82
Series 2010 Revenue Bonds Debt Retired In 2025	526,469.18	517,224.37	507,603.26	497,590.50	-	-
Series 2015 Revenue Bonds Debt Retired In 2030	201,100.00	201,100.00	201,100.00	201,100.00	201,100.00	201,100.00
Series 2016 Revenue Bonds Debt Retired In 2031	233,400.00	233,400.00	233,400.00	233,400.00	233,400.00	233,400.00
NCDEQ-DWI SRF Loan Debt Retired In 2040	959,805.01	1,060,171.30	1,047,604.00	1,035,036.68	1,022,469.38	1,009,902.08
<u>Installment Purchase</u>						
Uptown Infrastructure - Electric Fund Loan Debt Retired In 2038	27,250.00	27,250.00	27,250.00	27,250.00	27,250.00	27,250.00
FY 17 Installment Purchase Debt Retired In 2022	17,188.29	-	-	-	-	-
FY 19 Installment Purchase Debt Retired In 2024	54,380.79	54,380.79	54,380.79	-	-	-
FY 20 Installment Purchase Debt Retired In 2025	2,561.50	2,561.50	2,561.50	2,561.50	-	-
FY 21 Installment Purchase Debt Retired In 2026	14,465.00	14,465.00	14,465.00	14,465.00	14,465.00	-
Total Debt Service - Water Fund	2,360,776.90	2,435,802.97	2,412,394.28	2,336,121.20	1,823,858.20	1,796,825.90

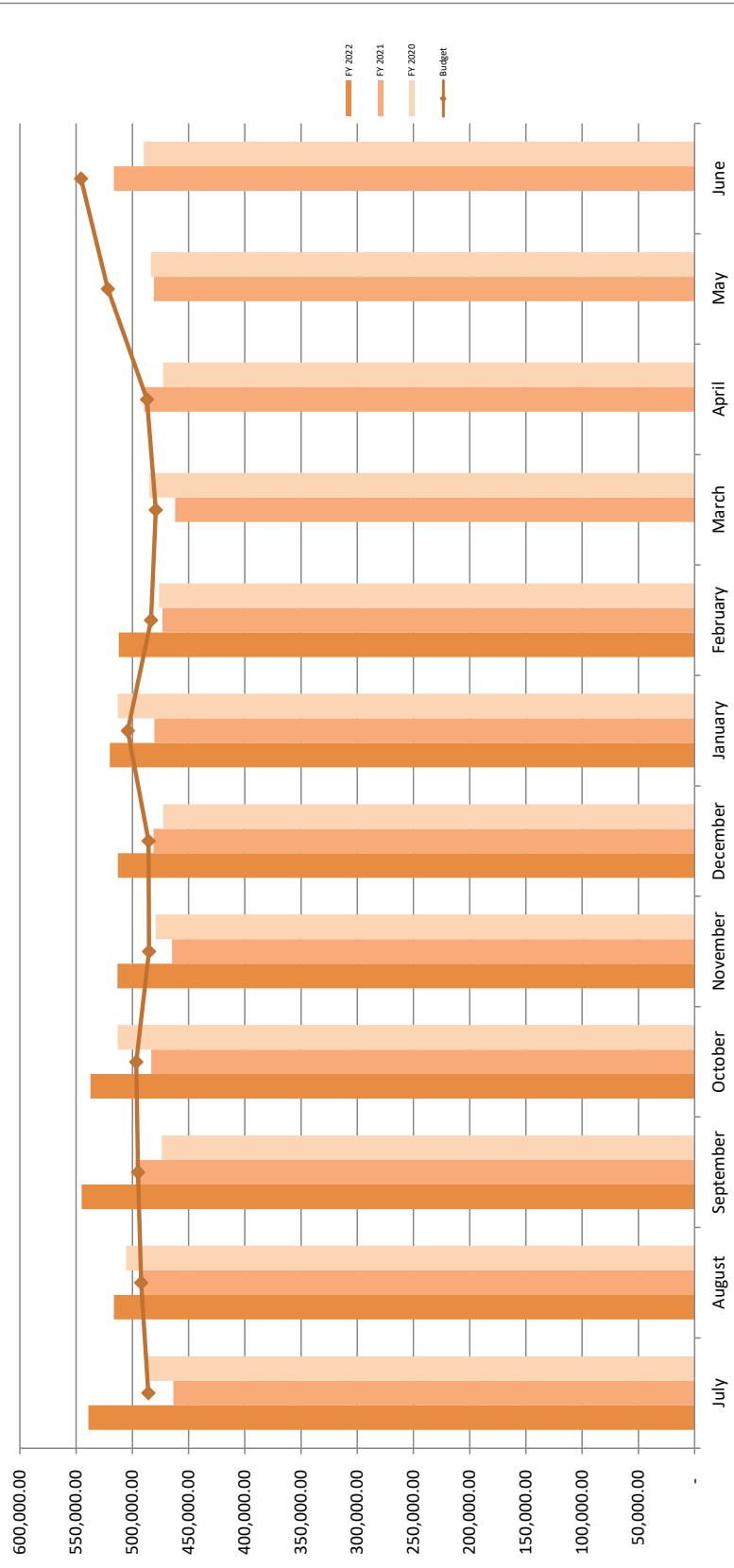
Installment Purchase Contracts are 59-month borrowings for purchase of items such as vehicles and capital equipment.



City of Shelby
Sewer Revenue Budget to Actual
FY 2022

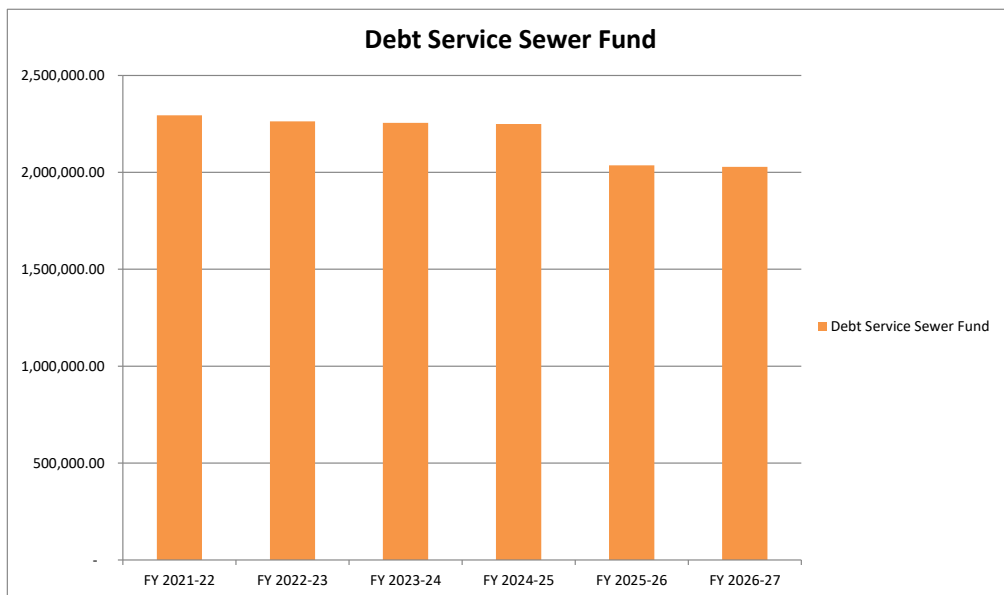
	July	August	September	October	November	December	January	February	March	April	May	June	Totals
FY 2022 Budget													
Inside Sewer													
Useage	68,512	70,250	53,846	69,057	66,689	67,452	71,487	66,675	64,185	66,827	76,924	82,341	824,244
Dollars	456,884.41	465,493.45	462,106.95	462,388.82	448,975.74	450,155.61	464,781.57	449,302.18	439,595.61	451,018.69	485,603.30	509,783.35	5,546,089.69
Outside Sewer													
Useage	2,886	2,520	3,410	3,557	3,855	3,771	4,329	3,581	4,344	3,369	3,361	3,320	42,303
Dollars	28,960.22	26,678.11	32,909.79	34,083.37	36,133.08	35,355.54	39,258.40	34,125.67	39,547.42	35,886.02	36,098.03	35,946.66	414,982.31
Totals													
Useage	71,398	72,770	57,256	72,614	70,544	71,223	75,816	70,256	68,529	70,196	80,285	85,661	866,547
Dollars	485,844.63	492,171.56	495,016.74	496,472.19	485,108.82	485,511.15	504,039.97	483,427.85	479,143.04	486,904.71	521,701.33	545,730.01	5,961,072.00
FY 2022 Actual													
Inside Sewer													
Useage	77,633	73,340	81,561	76,522	69,582	69,308	73,493	69,081	-	-	-	-	590,520
Dollars	501,861.04	479,112.06	505,097.81	493,553.81	468,967.36	467,397.01	476,820.51	465,389.56	-	-	-	-	3,858,199.16
Outside Sewer													
Useage	2,432	2,397	2,756	3,298	3,389	3,590	3,230	3,689	-	-	-	-	24,781
Dollars	37,319.18	37,327.88	39,989.26	43,817.13	44,221.07	45,502.36	43,117.93	46,590.33	-	-	-	-	337,885.14
Totals													
Useage	80,065	75,737	84,317	79,820	72,971	72,898	76,723	72,770	-	-	-	-	615,301
Dollars	539,180.22	516,439.94	545,087.07	537,370.94	513,188.43	512,899.37	519,938.44	511,979.89	-	-	-	-	4,196,084.30
Variance													
Inside Sewer													
Useage	9,121	3,090	27,715	7,465	2,893	1,856	2,006	2,406	(64,185)	(66,827)	(76,924)	(82,341)	(233,723.67)
Dollars	44,976.63	13,618.61	42,990.86	31,164.99	19,991.62	17,241.40	12,038.94	16,087.38	(439,595.61)	(451,018.69)	(485,603.30)	(509,783.35)	(1,687,890.53)
Outside Sewer													
Useage	(454)	(123)	(654)	(259)	(466)	(181)	(1,099)	108	(4,344)	(3,369)	(3,361)	(3,320)	(17,522.00)
Dollars	8,358.96	10,649.77	7,079.47	9,733.76	8,087.99	10,146.82	3,859.53	12,464.66	(39,547.42)	(35,886.02)	(36,098.03)	(35,946.66)	(77,097.17)
Totals													
Useage	8,667	2,967	27,061	7,206	2,427	1,675	907	2,514	(68,529)	(70,196)	(80,285)	(85,661)	(251,245.67)
Dollars	53,335.59	24,268.38	50,070.33	40,898.75	28,079.61	27,388.22	15,898.47	28,552.04	(479,143.04)	(486,904.71)	(521,701.33)	(545,730.01)	(1,764,987.70)

Sewer Sales in Dollars - Budget to Actual FY 2021 - 2022



DEBT SERVICE - SEWER FUND	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	FY 2025-26	FY 2026-27
<u>Revenue Bonds</u>						
Series 2013A Revenue Bonds Debt Retired In 2029	102,558.09	102,903.86	102,517.78	102,735.39	102,879.76	102,292.28
Series 2013C Revenue Bonds Debt Retired In 2028	199,458.88	198,822.47	198,081.73	197,236.66	200,137.25	198,979.17
Series 2010 Revenue Bonds Debt Retired In 2025	215,198.61	211,419.72	207,487.01	203,394.22	-	-
NC DENR-DWI SRF Loan Debt Retired in 2034	36,300.10	36,300.10	36,300.10	36,300.10	36,300.10	36,300.10
NC DENR-DWI SRF Loan Debt Retired in 2035	156,521.90	156,521.90	156,521.90	156,521.90	156,521.90	156,521.90
NC DENR-DWI SRF Loan Debt Retired in 2035	469,832.90	469,832.90	469,832.90	469,832.90	469,832.90	469,832.90
NC DENR-DWI SRF Loan Debt Retired in 2041	991,870.00	991,870.00	991,870.00	991,870.00	991,870.00	991,870.00
<u>Installment Purchase</u>						
Uptown Infrastructure - Loan from Electric Fund Debt Retired in 2038	72,750.00	72,750.00	72,750.00	72,750.00	72,750.00	72,750.00
FY 17 Installment Purchase Debt Retired In 2022	26,880.58	-	-	-	-	-
FY 18 Installment Purchase Debt Retired In 2023	2,903.26	2,903.26	-	-	-	-
FY 19 Installment Purchase Debt Retired In 2024	1,408.74	1,408.74	1,408.74	-	-	-
FY 20 Installment Purchase Debt Retired In 2025	12,525.50	12,525.50	12,525.50	12,525.50	-	-
FY 21 Installment Purchase Debt Retired In 2026	6,215.00	6,215.00	6,215.00	6,215.00	6,215.00	-
Total Debt Service - Sewer Fund	2,294,423.55	2,263,473.45	2,255,510.66	2,249,381.66	2,036,506.90	2,028,546.34

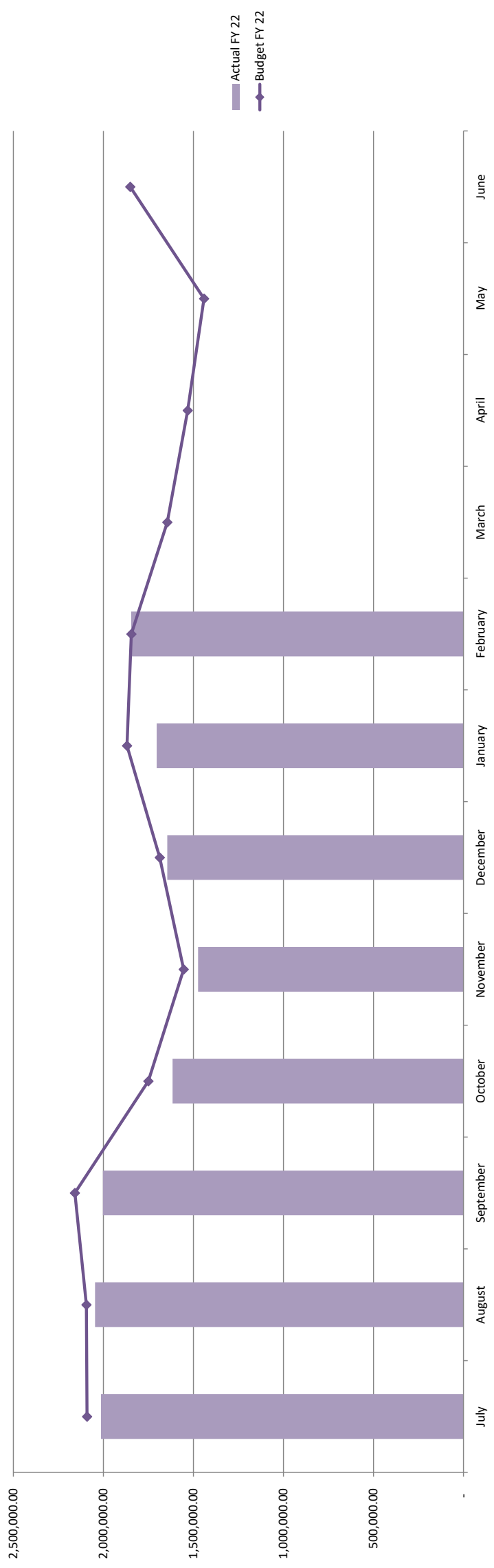
Installment Purchase Contracts are 59-month borrowings for purchase of items such as vehicles and capital equipment.



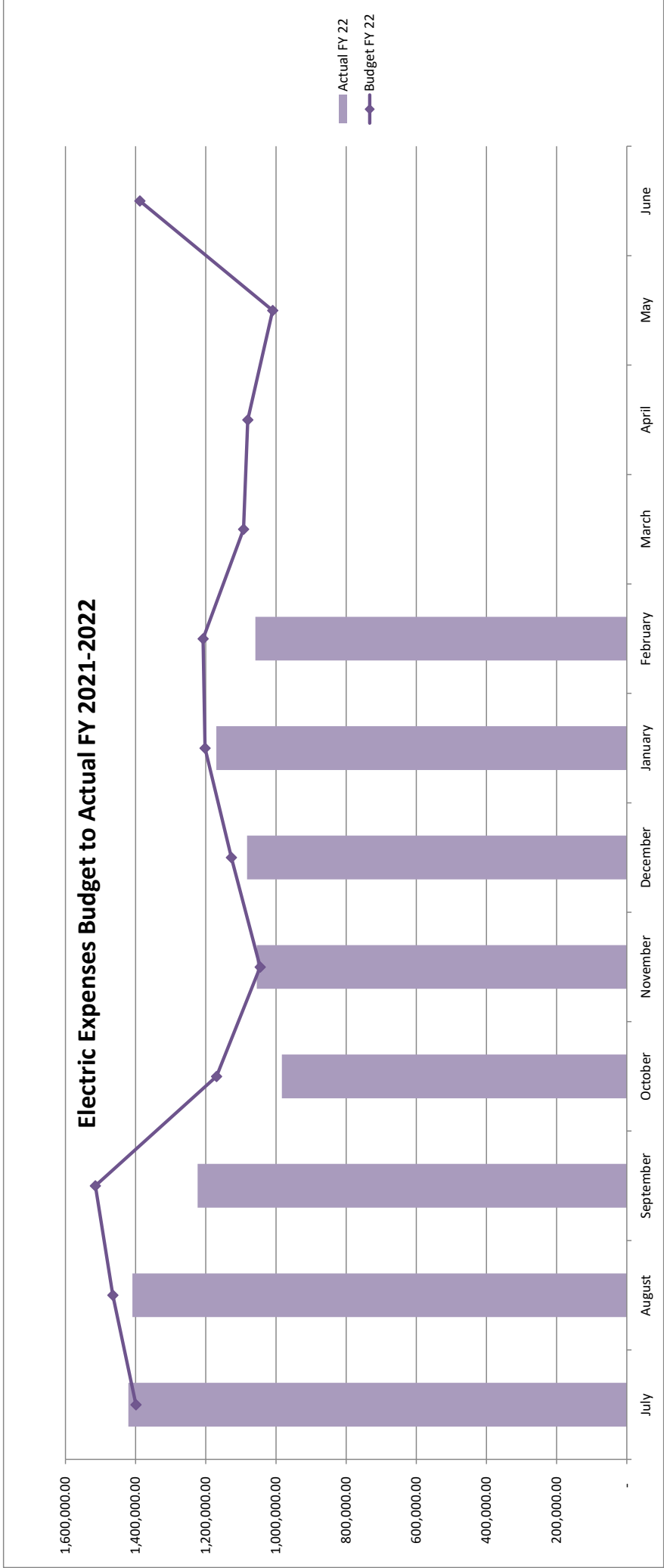
City of Shelby
Electric Revenues Budget to Actual
FY 2022

Revenues Budget FY 22	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Residential	888,192.80	905,070.83	889,403.93	683,984.80	623,498.84	798,656.66	926,510.59	912,010.95	762,405.29	648,463.38	574,814.98	770,567.06	9,383,580.12
Commercial	1,183,523.77	1,166,811.02	1,245,221.55	1,049,869.82	916,006.21	873,253.35	927,811.46	917,660.30	868,382.85	866,482.11	850,742.92	1,055,875.44	11,921,640.80
Industrial	19,505.92	22,388.91	23,737.08	16,789.71	14,997.50	15,378.27	14,823.35	15,520.93	14,739.64	16,908.65	15,683.89	24,305.22	214,779.08
Totals	2,091,222.49	2,094,270.76	2,158,362.56	1,750,644.33	1,554,502.55	1,687,288.28	1,869,145.41	1,845,192.18	1,645,527.78	1,531,854.14	1,441,241.79	1,850,747.72	21,520,000.00
Actual FY 22	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Residential	880,501.52	879,896.06	842,330.03	619,318.24	609,393.40	777,604.00	834,348.82	945,256.32	-	-	-	-	6,388,648.39
Commercial	1,091,518.23	1,126,015.11	1,119,148.12	965,598.51	840,040.54	844,327.85	844,645.98	877,880.75	-	-	-	-	7,709,175.09
Industrial	41,076.50	40,385.09	41,368.65	30,744.31	24,976.71	23,605.54	24,693.97	22,940.15	-	-	-	-	-
Totals	2,013,096.25	2,046,296.26	2,002,846.80	1,615,661.06	1,474,410.65	1,645,537.39	1,703,688.77	1,846,077.22	-	-	-	-	14,347,614.40
Revenue Variance	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Residential	(7,691.27)	(25,174.77)	(47,073.91)	(64,666.57)	(14,105.44)	(21,052.66)	(92,161.77)	33,245.37	(762,405.29)	(648,463.38)	(574,814.98)	(770,567.06)	(2,994,931.73)
Commercial	(92,005.55)	(40,795.92)	(126,073.42)	(84,271.30)	(75,965.67)	(28,925.50)	(83,165.49)	(39,779.55)	(868,382.85)	(866,482.11)	(850,742.92)	(1,055,875.44)	(4,212,465.72)
Industrial	21,570.58	17,996.18	17,631.57	13,954.60	9,979.21	8,227.27	9,870.62	7,419.22	(14,739.64)	(16,908.65)	(15,683.89)	(24,305.22)	35,011.84
Totals	(78,126.24)	(47,974.50)	(155,515.76)	(134,983.27)	(80,091.90)	(41,750.89)	(165,456.64)	885.04	(1,645,527.78)	(1,531,854.14)	(1,441,241.79)	(1,850,747.72)	(7,172,385.60)

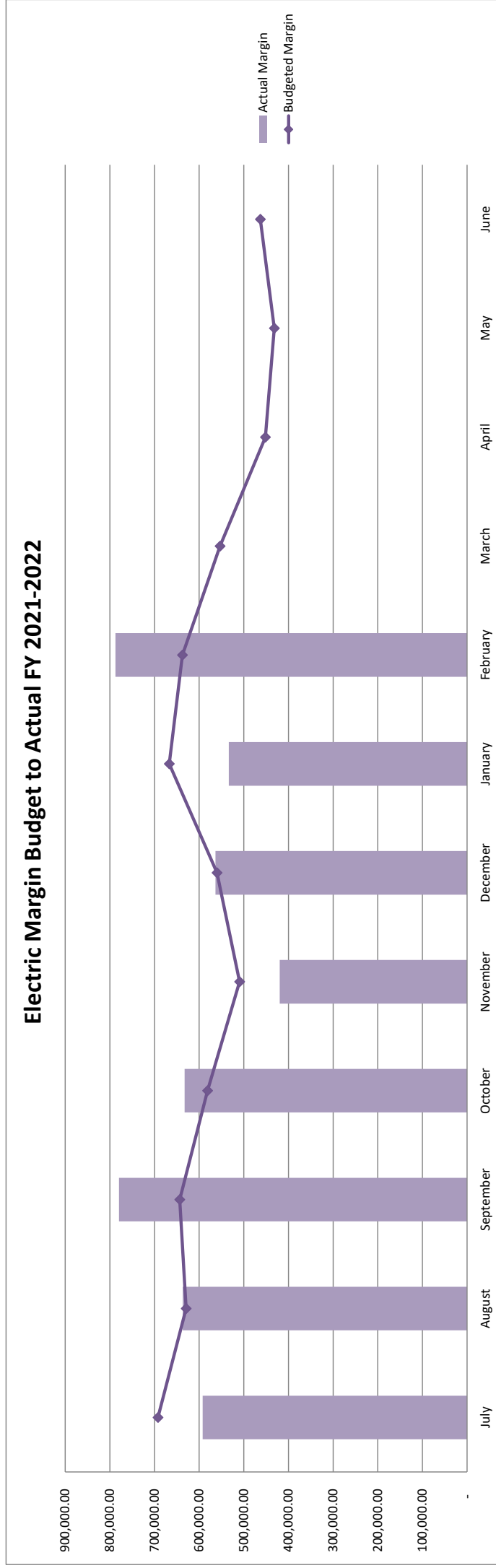
Electric Revenues Budget to Actual FY 2021-2022



Expenses													
Budget FY 22													
	July	August	September	October	November	December	January	February	March	April	May	June	Totals
NCMPA1	1,348,754.95	1,414,214.89	1,467,192.58	1,132,669.12	1,009,425.68	1,089,253.24	1,163,230.60	1,167,262.35	1,054,934.95	1,044,498.58	974,058.23	1,344,504.84	14,210,000.00
SEPA	50,123.30	50,951.57	47,498.77	36,873.99	35,749.70	37,820.86	38,817.94	40,530.13	37,260.83	35,634.69	35,409.97	43,328.26	490,000.00
Totals	1,398,878.25	1,465,166.46	1,514,691.35	1,169,543.11	1,045,175.38	1,127,074.10	1,202,048.53	1,207,792.48	1,092,195.78	1,080,133.27	1,009,468.19	1,387,833.10	14,700,000.00
Actual FY 22													
NCMPA1	1,387,577.43	1,374,262.77	1,189,126.57	947,970.65	1,021,092.08	1,046,316.06	1,135,882.98	1,024,848.52	-	-	-	-	9,127,077.06
SEPA	33,362.07	35,097.20	34,006.80	35,274.36	33,772.52	35,901.74	34,214.73	33,608.38	-	-	-	-	275,237.80
Totals	1,420,939.50	1,409,359.97	1,223,133.37	983,245.01	1,054,864.60	1,082,217.80	1,170,097.71	1,058,456.90	-	-	-	-	9,402,314.86
Expense Variance													
NCMPA1	(38,822.48)	39,952.12	278,066.01	184,698.47	(11,666.40)	42,937.18	27,347.62	142,413.83	1,054,934.95	1,044,498.58	974,058.23	1,344,504.84	5,082,922.94
SEPA	16,761.23	15,854.37	13,491.97	1,599.63	1,977.18	1,919.12	4,603.21	6,921.75	37,260.83	35,634.69	35,409.97	43,328.26	214,762.20
Totals	(22,061.25)	55,806.49	291,557.98	186,298.10	(9,689.22)	44,856.30	31,950.82	149,335.58	1,092,195.78	1,080,133.27	1,009,468.19	1,387,833.10	5,297,685.14

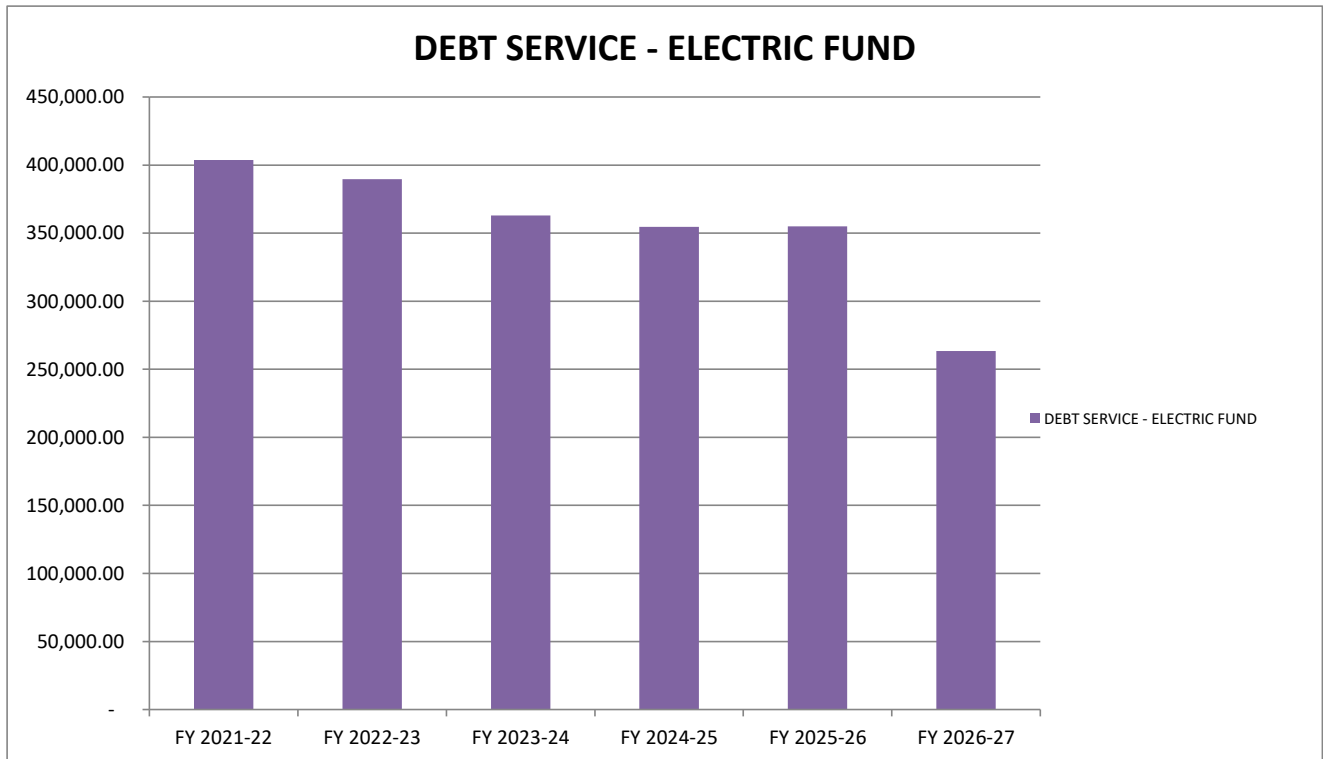


Margin	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Budgeted Revenues	2,091,222.49	2,094,270.76	2,158,362.56	1,750,644.33	1,554,502.55	1,687,288.28	1,869,145.41	1,845,192.18	1,645,527.78	1,531,854.14	1,441,241.79	1,850,747.72	21,520,000.00
Budgeted Expenses	(1,398,878.25)	(1,465,166.46)	(1,514,691.35)	(1,169,543.11)	(1,045,175.38)	(1,127,074.10)	(1,202,048.53)	(1,207,792.48)	(1,092,195.78)	(1,080,133.27)	(1,009,468.19)	(1,387,833.10)	(14,700,000.00)
Budgeted Margin	692,344.24	629,104.31	643,671.22	581,101.22	509,327.17	560,214.18	667,096.88	637,399.70	553,332.00	451,720.87	431,773.60	462,914.62	6,820,000.00
Actual Revenues	2,013,096.25	2,046,296.26	2,002,846.80	1,615,661.06	1,474,410.65	1,645,537.39	1,703,688.77	1,846,077.22	-	-	-	-	14,347,614.40
Actual Expenses	(1,420,939.50)	(1,409,359.97)	(1,223,133.37)	(983,245.01)	(1,054,864.60)	(1,082,217.80)	(1,170,097.71)	(1,058,456.90)	-	-	-	-	(9,402,314.86)
Actual Margin	592,156.75	636,936.29	779,713.43	632,416.05	419,546.05	563,319.59	533,591.06	787,620.32	-	-	-	-	4,945,299.54
Margin Variance	(100,187.49)	7,831.98	136,042.21	51,314.83	(89,781.12)	3,105.41	(133,505.82)	150,220.62	(553,332.00)	(451,720.87)	(431,773.60)	(462,914.62)	(1,874,700.46)



DEBT SERVICE - ELECTRIC FUND		FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	FY 2025-26	FY 2026-27
<u>Revenue Bonds</u>							
Series 2013A Revenue Bonds							
Total	Debt Retired In 2029	264,102.54	264,992.95	263,998.74	264,559.11	264,930.87	263,418.02
<u>Installment Purchase Contracts</u>							
FY 17 Installment Purchase							
	Debt Retired In 2022	15,039.75	-	-	-	-	-
FY 18 Installment Purchase							
	Debt Retired In 2023	25,727.86	25,727.86	-	-	-	-
FY 19 Installment Purchase							
	Debt Retired In 2024	8,921.99	8,921.99	8,921.99	-	-	-
FY 21 Installment Purchase							
	Debt Retired In 2026	89,952.50	89,952.50	89,952.50	89,952.50	89,952.50	-
Total		<u>403,744.64</u>	<u>389,595.30</u>	<u>362,873.23</u>	<u>354,511.61</u>	<u>354,883.37</u>	<u>263,418.02</u>

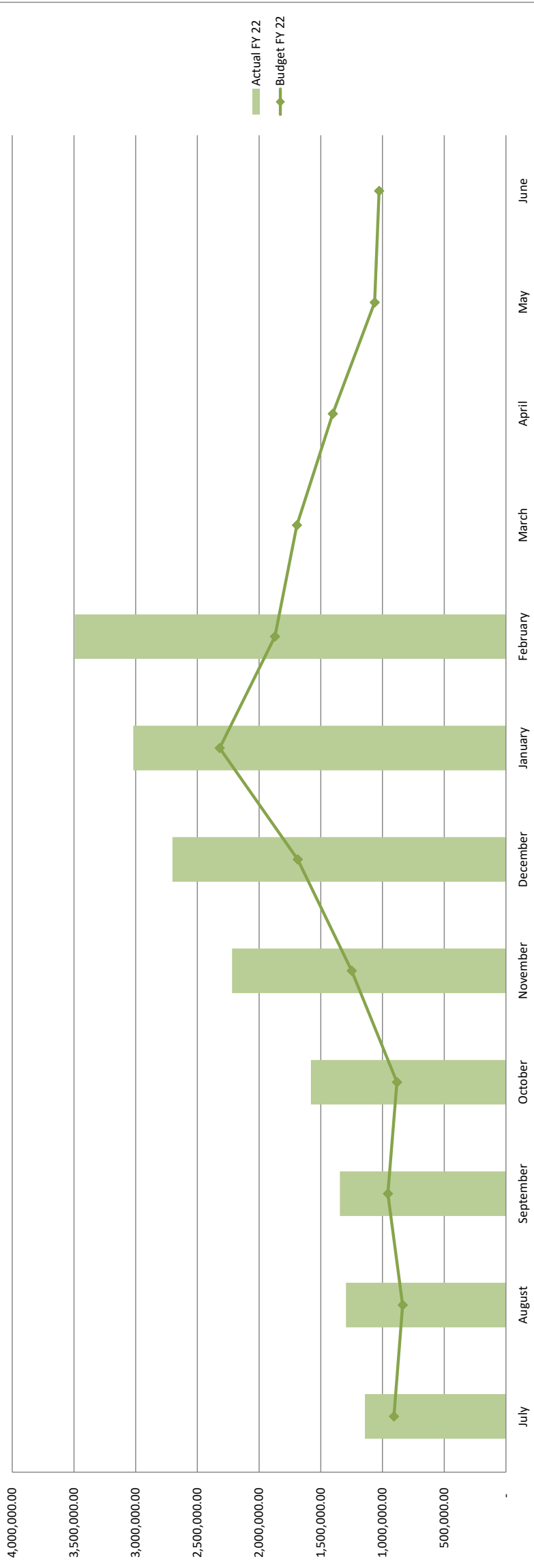
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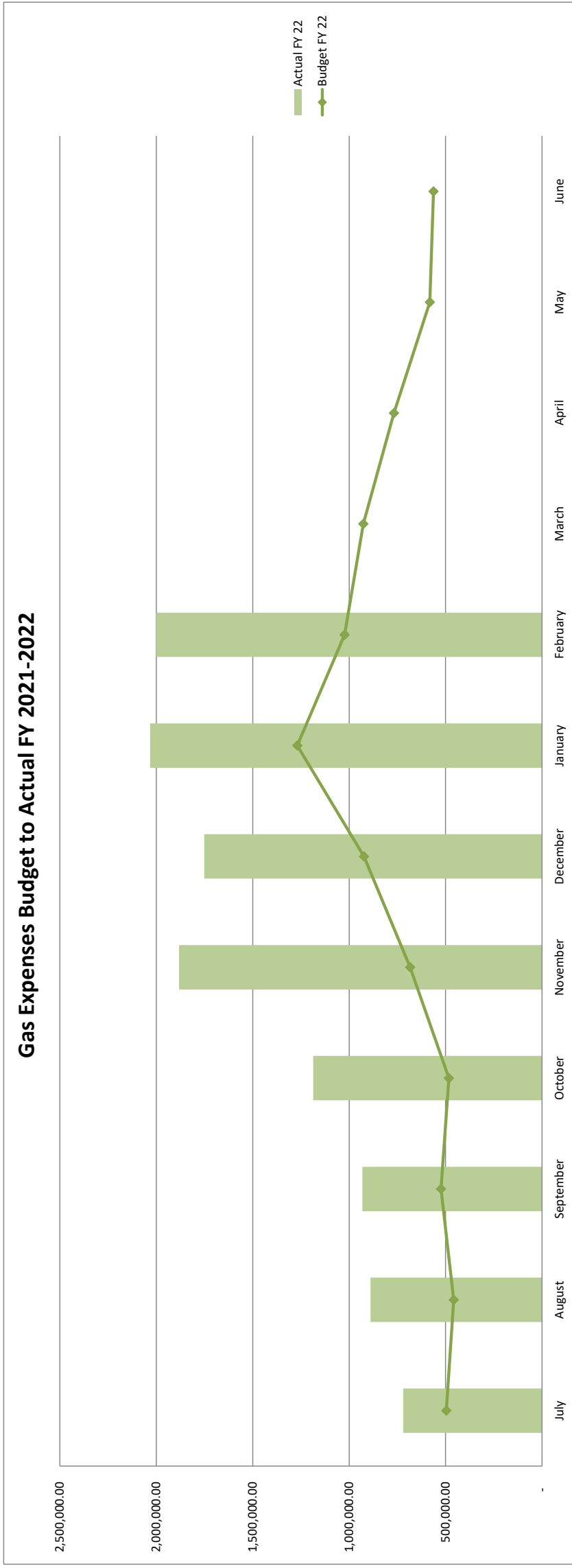
City of Shelby
Gas Revenues Budget to Actual
FY 2022

Revenues Budget FY 22	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Residential	122,595.58	119,268.48	121,306.17	129,799.55	246,011.66	586,018.72	791,708.03	637,787.28	504,139.51	367,667.88	184,345.28	140,512.60	3,951,160.73
Commercial	127,145.91	138,085.78	150,892.43	157,303.22	224,156.33	451,584.06	652,439.46	522,669.45	421,087.18	337,776.30	160,527.02	142,379.72	3,486,046.85
High Load Factor	21,204.40	17,255.87	13,195.68	10,537.51	44,416.21	49,695.69	51,938.49	56,935.06	50,251.61	53,598.68	50,480.09	50,460.41	469,969.71
Interruptibles	53,938.27	54,429.36	51,846.13	50,373.91	65,220.45	56,126.20	53,678.30	76,814.28	52,852.17	54,901.55	51,318.41	54,642.71	676,141.74
Special lnd Class	582,378.63	507,899.21	619,077.33	535,030.86	669,816.02	544,232.23	769,537.34	577,077.07	665,601.80	588,925.46	616,872.18	640,232.84	7,316,680.97
Totals	907,262.79	836,938.70	956,317.74	883,045.05	1,249,620.66	1,687,656.91	2,319,301.61	1,871,283.13	1,693,932.27	1,402,869.87	1,063,542.98	1,028,228.29	15,900,000.00
Actual FY 22	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Residential	126,424.43	121,787.88	125,541.02	149,464.40	394,056.64	728,265.43	755,393.66	1,074,649.06	-	-	-	-	3,475,582.52
Commercial	216,803.16	218,558.89	258,602.85	281,892.54	505,654.31	717,196.74	815,064.96	937,285.51	-	-	-	-	3,951,058.96
High Load Factor	45,862.44	53,682.87	67,506.54	65,253.37	83,735.97	88,483.26	109,697.66	29,491.30	-	-	-	-	543,713.41
Interruptibles	61,086.99	63,329.37	69,418.16	79,776.44	95,750.57	124,422.21	80,488.41	118,444.61	-	-	-	-	692,716.76
Special lnd Class	692,577.77	838,939.79	824,567.30	1,003,415.62	1,139,754.71	1,042,863.69	1,258,275.61	1,333,548.14	-	-	-	-	8,133,942.63
Totals	1,142,754.79	1,296,298.80	1,345,635.87	1,579,802.37	2,218,952.20	2,701,231.33	3,018,920.30	3,493,418.62	-	-	-	-	16,797,014.28
Revenue Variance	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Residential	3,828.85	2,519.40	4,234.85	19,664.85	148,044.98	142,246.71	(36,314.37)	436,861.78	(504,139.51)	(367,667.88)	(184,345.28)	(140,512.60)	(475,578.21)
Commercial	89,657.25	80,473.11	107,710.42	124,589.32	281,497.98	265,612.68	162,625.50	414,616.06	(421,087.18)	(337,776.30)	(160,527.02)	(142,379.72)	465,012.11
High Load Factor	24,658.04	36,427.00	54,310.86	54,715.86	39,319.76	38,787.57	57,759.17	(27,443.76)	(50,251.61)	(53,598.68)	(50,480.09)	(50,460.41)	73,743.70
Interruptibles	7,148.72	8,900.01	17,572.03	29,402.53	30,530.12	68,296.01	26,810.11	41,630.33	(52,852.17)	(54,901.55)	(51,318.41)	(54,642.71)	16,575.02
Special lnd Class	110,199.14	331,040.58	205,489.97	468,384.76	469,938.69	498,631.46	488,738.27	756,471.07	(665,601.80)	(588,925.46)	(616,872.18)	(640,232.84)	817,261.66
Totals	235,492.00	459,360.10	389,318.13	696,757.32	969,331.54	1,013,574.42	699,618.69	1,622,135.49	(1,693,932.27)	(1,402,869.87)	(1,063,542.98)	(1,028,228.29)	897,014.28

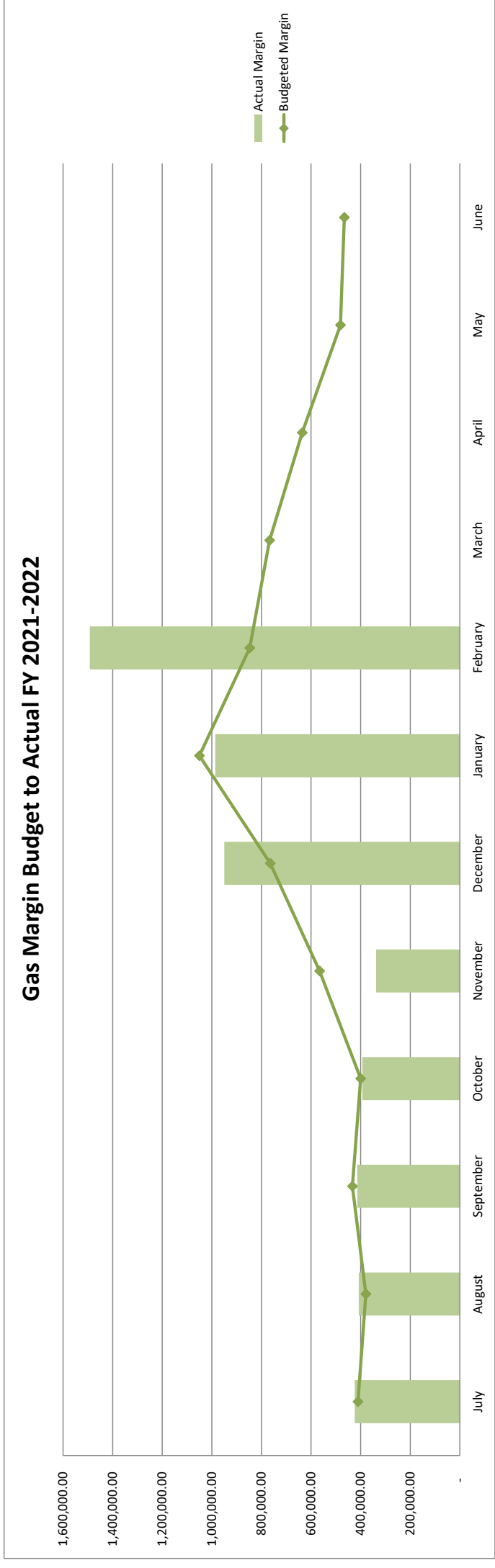
Gas Revenues Budget to Actual FY 2021-2022



Expenses Budget FY 22	July	August	September	October	November	December	January	February	March	April	May	June	Totals
	496,426.81	457,947.59	523,268.20	483,175.60	683,754.70	923,434.91	1,269,051.83	1,023,909.64	926,868.60	767,608.04	581,938.61	562,615.48	8,700,000.00
Actual FY 22	719,330.94	888,896.75	931,759.06	1,186,326.46	1,881,425.12	1,751,637.31	2,032,272.17	2,001,054.86	-	-	-	-	11,392,702.67
Expense Variance	(222,904.13)	(430,949.16)	(408,490.86)	(703,150.86)	(1,197,670.42)	(828,202.40)	(763,220.34)	(977,145.22)	926,868.60	767,608.04	581,938.61	562,615.48	(2,692,702.67)

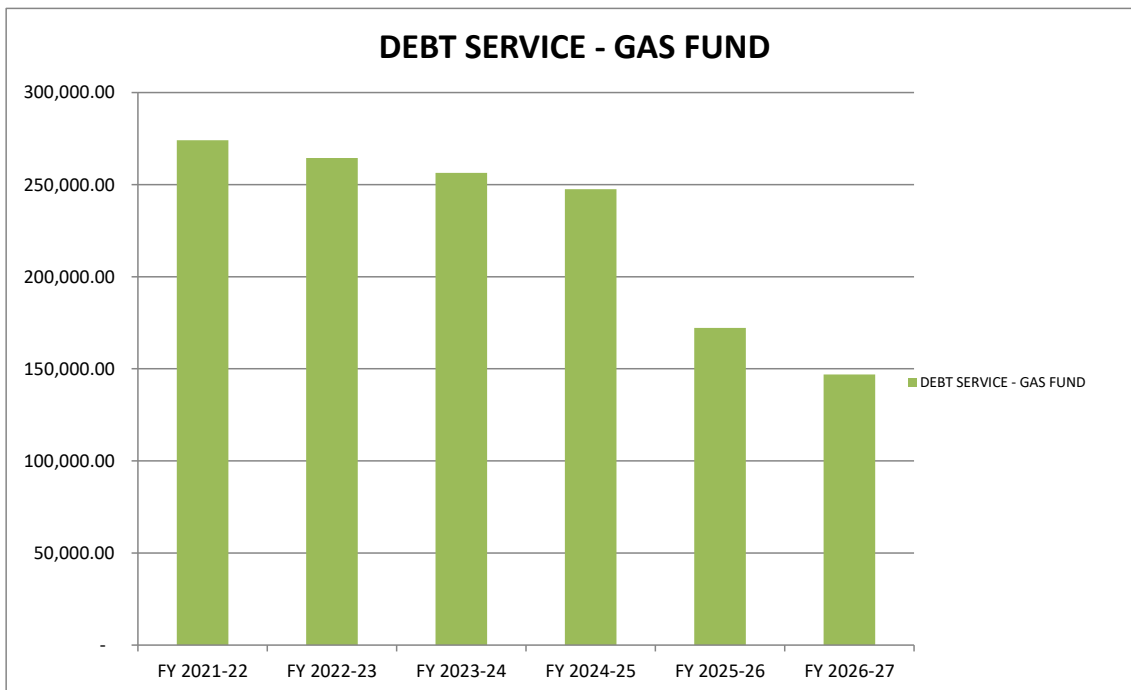


Margin	July	August	September	October	November	December	January	February	March	April	May	June	Totals
Budgeted Revenues	907,262.79	836,938.70	956,317.74	883,045.05	1,249,620.66	1,687,656.91	2,319,301.61	1,871,283.13	1,693,932.27	1,402,869.87	1,063,542.98	1,028,228.29	15,900,000.00
Budgeted Expenses	496,426.81	457,947.59	523,268.20	483,175.60	683,754.70	923,434.91	1,269,051.83	1,023,909.64	926,868.60	767,608.04	581,938.61	562,615.48	8,700,000.00
Budgeted Margin	410,835.98	378,991.11	433,049.54	399,869.46	565,865.96	764,222.00	1,050,249.79	847,373.49	767,063.67	635,261.83	481,604.37	465,612.81	7,200,000.00
Actual Revenues	1,142,754.79	1,296,298.80	1,345,635.87	1,579,802.37	2,218,952.20	2,701,231.33	3,018,920.30	3,493,418.62	-	-	-	-	16,797,014.28
Actual Expenses	719,330.94	888,896.75	931,759.06	1,186,326.46	1,881,425.12	1,751,637.31	2,032,272.17	2,001,054.86	-	-	-	-	11,392,702.67
Actual Margin	423,423.85	407,402.05	413,876.81	393,475.91	337,527.08	949,594.02	986,648.13	1,492,363.76	-	-	-	-	5,404,311.61
Margin Variance	12,587.87	28,410.94	(19,172.73)	(6,393.55)	(228,338.88)	185,372.02	(63,601.66)	644,990.27	(767,063.67)	(635,261.83)	(481,604.37)	(465,612.81)	(1,795,688.39)



DEBT SERVICE - GAS FUND	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	FY 2025-26	FY 2026-27
<u>Revenue Bonds</u>						
Series 2013A Revenue Bonds Debt Retired In 2029	87,777.24	88,073.18	87,742.75	87,928.99	88,052.55	87,549.74
Series 2013C Revenue Bonds Debt Retired In 2028	59,578.63	59,388.53	59,167.27	58,914.85	59,781.26	59,435.34
Series 2010 Revenue Bonds Debt Retired In 2025	61,073.28	59,999.82	58,883.96	57,722.44	-	-
<u>Installment Purchase Contracts</u>						
FY 17 Installment Purchase Debt Retired In 2022	8,761.25	-	-	-	-	-
FY 18 Installment Purchase Debt Retired In 2023	6,424.24	6,424.24	-	-	-	-
FY 19 Installment Purchase Debt Retired In 2024	7,621.62	7,621.62	7,621.62	-	-	-
FY 20 Installment Purchase Debt Retired In 2025	18,518.00	18,518.00	18,518.00	18,518.00	-	-
FY 21 Installment Purchase Debt Retired In 2026	24,392.50	24,392.50	24,392.50	24,392.50	24,392.50	-
Total Debt Service - Gas Fund	274,146.76	264,417.89	256,326.09	247,476.77	172,226.30	146,985.07

Installment Purchase Contracts are 59-month borrowings for purchase of items such as vehicles and capital equipment.



City of Shelby
 For 2022 08 (66.67% of the Fiscal Year)
 Utility Funds Expenditures by Department

	ORIGINAL APPROP	TRANFRS ADJSTMTS	REVISED BUDGET	YTD EXPENDED	ENCUMBRANCES	AVAILABLE BUDGET	PCT USED
TOTAL WATER ADMINISTRATION	3,242,898.00	404,515.00	3,647,413.00	1,556,217.99	5,971.69	2,085,223.17	42.8 %
TOTAL WATER LINES OPERATIONS	843,190.00	49,669.00	892,859.00	487,002.09	30,870.68	374,986.03	58.0 %
TOTAL WATER PLANT OPERATIONS	1,953,083.00	35,150.00	1,988,233.00	1,142,156.60	123,675.09	722,401.31	63.7 %
TOTAL WATER	6,039,171.00	489,334.00	6,528,505.00	3,185,376.68	160,517.46	3,182,610.51	51.3 %
TOTAL SEWER ADMINISTRATION	3,024,004.00	761,521.00	3,785,525.00	977,370.45	5,949.69	2,802,204.71	26.0 %
TOTAL SEWER LINES OPERATIONS	1,008,340.00	151,621.00	1,159,961.00	755,003.94	43,916.93	361,039.73	68.9 %
TOTAL SEWER PLANT OPERATIONS	2,366,300.00	41,174.00	2,407,474.00	1,371,130.64	280,786.97	755,556.36	68.6 %
TOTAL SEWER	6,398,644.00	954,316.00	7,352,960.00	3,103,505.03	330,653.59	3,918,800.80	46.7 %
TOTAL ELECTRIC ADMINISTRATION	2,560,638.00	5,663,420.00	8,224,058.00	1,574,946.26	12,635.16	6,636,476.93	19.3 %
TOTAL ELECTRIC PURCHASE	16,220,000.00	0.00	16,220,000.00	9,265,511.81	0.00	6,954,488.19	57.1 %
TOTAL ELECTRIC LINES	3,258,817.00	104,985.00	3,363,802.00	1,692,688.27	588,306.50	1,082,807.33	67.8 %
TOTAL ELECTRIC	22,039,455.00	5,768,405.00	27,807,860.00	12,533,146.34	600,941.66	14,673,772.45	47.2 %
TOTAL NATURAL GAS ADMINISTRATION	4,541,910.00	586,835.00	5,128,745.00	3,194,052.87	5,587.49	1,929,104.49	62.4 %
TOTAL NATURAL GAS PURCHASE	9,370,000.00	0.00	9,370,000.00	9,918,065.74	0.00	-548,065.74	105.8 %
TOTAL NATURAL GAS LINES	2,213,690.00	346,302.00	2,559,992.00	1,014,713.79	482,614.13	1,062,664.51	58.5 %
TOTAL NATURAL GAS	16,125,600.00	933,137.00	17,058,737.00	14,126,832.40	488,201.62	2,443,703.26	85.7 %

City of Shelby
Weather Variances
Fiscal Year to Date at February 28, 2022

Month	Average Rain*	Actual Rain	Variance	Average CDD**	Actual CDD	Variance	Average HDD**	Actual HDD	Variance
July	4.30	8.30	4.00	388	460	72	0	0	0
August	4.40	3.60	(0.80)	563	474	-89	0	0	0
September	3.80	1.50	(2.30)	256	203	-53	5	8	3
October	3.80	2.80	(1.00)	109	105	-4	129	100	-29
November	3.40	0.90	(2.50)	0	5	5	460	491	31
December	4.00	2.80	(1.20)	1	0	-1	564	394	-170
January	3.90	4.70	0.80	0	0	0	810	798	-12
February	3.90	4.20	0.30	0	0	0	586	512	-74
March	4.70	0.00	(4.70)	24	0	-24	464	0	-464
April	3.30	0.00	(3.30)	23	0	-23	223	0	-223
May	4.40	0.00	(4.40)	116	0	-116	51	0	-51
June	4.30	0.00	(4.30)	337	0	-337	0	0	0
Totals	48.20	28.80	(19.40)	1,817	1,247	(570)	3,292	2,303	(989)

Heating Degree Days: This is a value which gives an indication of the need to heat a building in a given climate. The number of heating degrees in a day is defined as the difference between a reference value of 65°F and the average outside temperature for that day.

Cooling Degree Days: This is a value which gives an indication of the need to cool a building in a given climate. The number of cooling degrees in a day is defined as the difference between a reference value of 65°F and the average outside temperature for that day.

* Source www.weather.com

** Source www.climate.fizber.com



Planning and Development Monthly Summary
February 2022

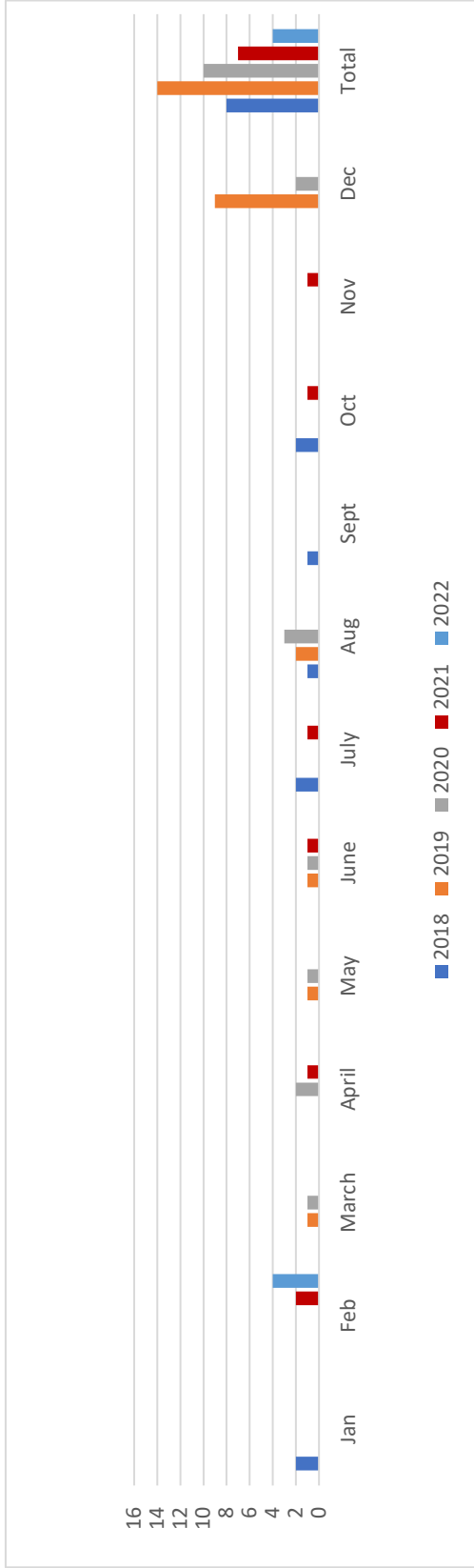
PERMIT LISTING REPORT BY ISSUED DATE (02/01/2022 TO 02/28/2022)

Permit Type	Permit Number	Owner	Contractor	Work Class	Valuation	Parcel	Address	Sq Ft	Apply Date	Issue Date	Expire Date	Final Date	Fee Amount
Building Commercial	B-007722-2022	Keith Lane		Accessory Structure	\$50,000.00	28810	2725 W Dixon Blvd Shelby, NC	1,920.00	02/09/2022	02/23/2022	02/20/2023		\$200.00
													\$200.00
	B-007784-2022	Electric Glass Fiber America	Stryker Demolition & Environmental Services, LLC	Demolish	\$9,000.00	32576	940 Washburn Switch Rd Shelby, NC	2,700.00	02/25/2022	02/25/2022	08/24/2022		\$60.00
	B-004959-2019	KIM D HUNT		New	\$200,000.00	NO PARCEL	2322 Kings Rd Ext Shelby, NC	8,000.00	09/04/2019	02/17/2022	08/15/2022		\$3,680.00
	B-005998-2020	STATE EMPLOYEES CREDIT UNION	Carmel Contractors, Inc.	New	\$5,000,000.00	26169	1729 E Dixon Blvd Shelby, NC	11,329.00	08/18/2020	02/09/2022	02/23/2023		\$20,000.00
	B-007545-2021	Willie Green	W. R. Newman & Associates, Inc	New	\$2,100,000.00	20806	630 Earl Rd Shelby, NC	25,674.00	12/07/2021	02/08/2022	08/08/2022		\$1,400.00
													\$4,690.00
													\$11,810.00
													\$17,900.00
	B-007751-2022	Abbee Jones	Duncan Construction, Inc.	New	\$350,000.00	51362	208 Thre Brothers Dr Shelby, NC	3,320.00	02/15/2022	02/28/2022	02/28/2023		\$1,527.00
	B-007518-2021	CLEVELAND COUNTY	Lail Electric Service Inc.	Renovation	\$3,600,000.00	22224	200 S Post Rd Shelby, NC	31,000.00	11/30/2021	02/04/2022	08/03/2022		\$9,400.00
	B-007664-2022	CAPITAL INVESTMENTS ASSOCIATES II LLC	American Restoration	Renovation	\$25,000.00	70780	2001-B E Dixon Blvd Shelby, NC	1,000.00	01/13/2022	02/09/2022	08/08/2022		\$400.00
	B-007720-2022	Margo Kozich	GLR Tennessee Division LLC	Renovation	\$150,000.00	20867	1005 E Dixon Blvd Shelby, NC	3,948.00	02/07/2022	02/28/2022	08/29/2022		\$1,284.00
													\$1,284.00

Permit Type	Permit Number	Owner	Contractor	Work Class	Valuation	Parcel	Address	Sq Ft	Apply Date	Issue Date	Expire Date	Final Date	Fee Amount
	B-006864-2021	Paola Jimenez	Meiland Properties, Inc	New	\$220,000.00	29926	1511 Farm Rd Shelby, NC	2,488.00	05/20/2021	02/16/2022	08/15/2022		\$880.00 \$10.00 \$890.00
	B-007753-2022	Operation Wealth LLC	Morris Construction Services	New	\$126,640.00	17711	510 Blanton St Shelby, NC	1,154.00	02/15/2022	02/25/2022	08/24/2022		\$506.00 \$10.00 \$516.00
	B-007754-2022	S Ghost Investments LLC	Morris Construction Services	New	\$126,940.00	20522	221 Broad St Shelby, NC	1,154.00	02/15/2022	02/25/2022	08/24/2022		\$10.00 \$508.00 \$518.00
	B-007755-2022	Jeffery Rice	J Rice Construction, LLC	New	\$140,000.00	24937	1021 Hunter Valley Rd Shelby, NC	1,431.00	02/15/2022	02/22/2022	08/22/2022		\$560.00 \$10.00 \$570.00
	B-007590-2021	VLW Investments LLC	DKI Plumbing	Renovation	\$68,587.00	20975	815 Mcgowan Rd Shelby, NC	1,148.00	12/20/2021	02/01/2022	02/20/2023		\$10.00 \$444.00 \$454.00
	B-007644-2022	DON SWARINGEN	American Restoration	Renovation	\$250,000.00	23885	306 Caleb Rd Shelby, NC	1,800.00	01/11/2022	02/03/2022	08/02/2022		\$640.00 \$10.00 \$650.00
	B-007695-2022	Sean Rose	S & S Acquisitions, LLC (GC)	Renovation	\$110,000.00	NO PARCEL	510 Suttle St Shelby, NC	650.00	02/02/2022	02/18/2022	08/17/2022		\$10.00 \$295.00 \$305.00
	B-007696-2022	Sean Rose	S & S Acquisitions, LLC (GC)	Renovation	\$85,000.00	20549	112 Shannonhouse St Shelby, NC	1,468.00	02/03/2022	02/18/2022	08/17/2022		\$540.00 \$10.00 \$550.00
	B-007697-2022	Sean Rose	S & S Acquisitions LLC (Electrical)	Renovation	\$49,000.00	17791	409 Clegg St Shelby, NC	966.00	02/03/2022	02/18/2022	08/17/2022		\$390.00 \$10.00 \$400.00
	B-007698-2022	Sean Rose	S & S Acquisitions LLC (Electrical)	Renovation	\$12,000.00	17912	414 Suttle St Shelby, NC	975.00	02/03/2022	02/18/2022	08/17/2022		\$392.00 \$392.00
	B-007699-2022	Sean Rose	S & S Acquisitions LLC (Electrical)	Renovation	\$58,000.00	17384	511 Carolina Ave Shelby, NC	952.00	02/03/2022	02/18/2022	08/17/2022		\$10.00 \$386.00 \$396.00

Permit Type	Permit Number	Owner	Contractor	Work Class	Valuation	Parcel	Address	Sq Ft	Apply Date	Issue Date	Expire Date	Final Date	Fee Amount	
	B-007700-2022	SHEILA FOSTER		Renovation	\$17,900.00	17978	507 Oakland Dr Shelby, NC	183.00	02/03/2022	02/11/2022	08/10/2022		\$155.00	
													<u>\$155.00</u>	
	B-007731-2022	Deniece Land	HOMETOWN ELECTRIC LLC	Renovation	\$8,000.00	19209	301 Clinton St Shelby, NC	400.00	02/11/2022	02/21/2022	03/03/2023		\$220.00	
													<u>\$220.00</u>	
	B-007732-2022	John Liebenthal		Renovation	\$10,000.00	18279	609 S Washington St Shelby, NC	360.00	02/11/2022	02/21/2022	08/22/2022		\$208.00	
													<u>\$208.00</u>	
	B-007781-2022	ROBERT HUMPHRIES	Walker Plumbing Services Inc.	Renovation	\$175,000.00	27745	217 Cameron St Shelby, NC	1,125.00	02/24/2022	02/25/2022	03/03/2023		\$438.00	
													<u>\$438.00</u>	
	B-007782-2022	JALIN MOORE	Primetime Plumbing	Renovation	\$25,000.00	18544	507 Kings Rd Shelby, NC	1,190.00	02/24/2022	02/28/2022	08/29/2022		\$457.00	
													<u>\$457.00</u>	
									TOTAL VALUATION FOR BUILDING RESIDENTIAL:	\$1,564,502.65	TOTAL SQ FT FOR BUILDING RESIDENTIAL:	21,809.00	TOTAL FEES FOR BUILDING RESIDENTIAL:	\$7,844.00
GRAND TOTALS									VALUATION:	\$13,137,593.95	SQ FT:	112,980.00	FEES:	\$63,484.00

NEW Commercial Building Permits Issued



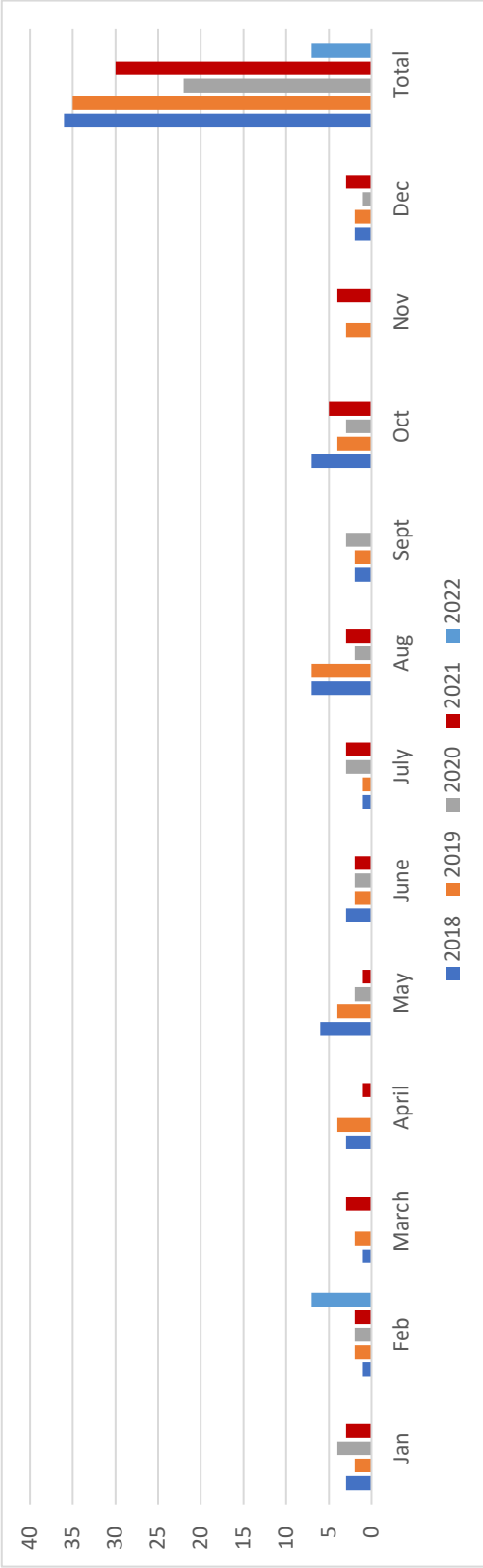
	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec	Total
2018	2	0	0	0	0	0	2	1	1	2	0	0	8
2019	0	0	1	0	1	1	0	2	0	0	0	9	14
2020	0	0	1	2	1	1	0	3	0	0	0	2	10
2021	0	2	0	1	0	1	1	0	0	1	1	0	7
2022	0	4											4

2022 Valuations

Jan \$	\$0.00	Apr \$	Oct \$
Feb \$	\$7,650,000.00	May \$	Nov \$
Mar \$		Jun \$	Dec \$

February Permits for Tractor Supply, NCSECU

Commercial Renovation/Addition Building Permits Issued



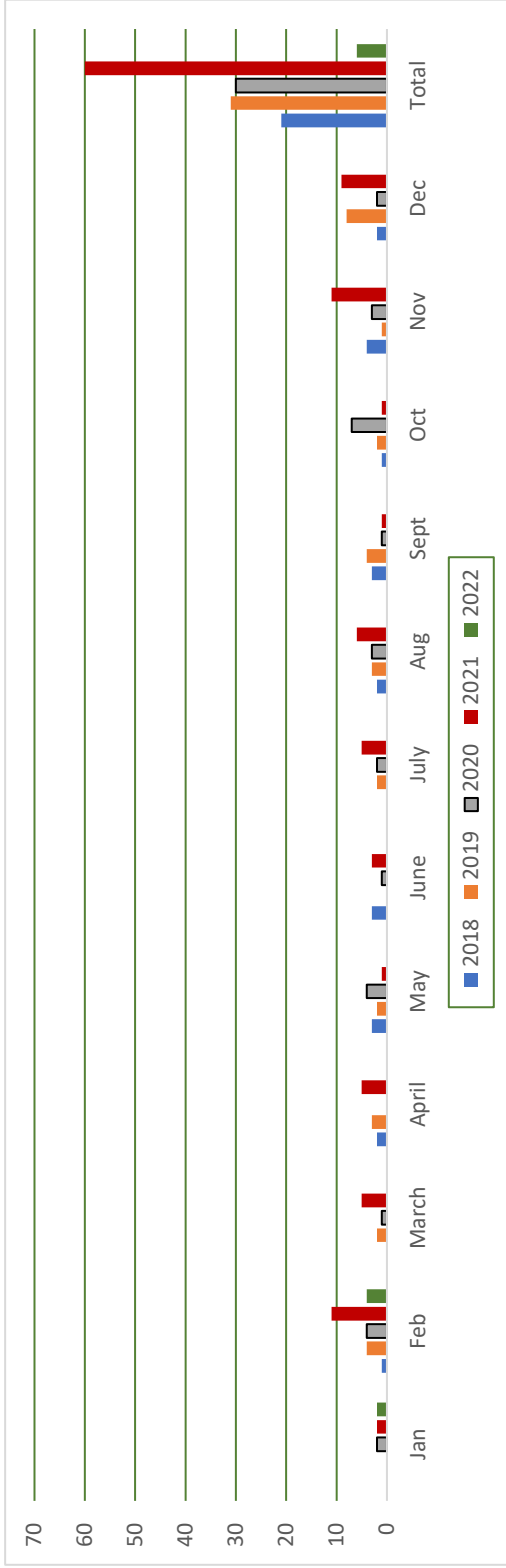
	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec	Total
2018	3	1	1	3	6	3	1	7	2	7	0	2	36
2019	2	2	2	4	4	2	1	7	2	4	3	2	35
2020	4	2	0	0	2	2	3	2	3	3	0	1	22
2021	3	2	3	1	1	2	3	3	0	5	4	3	30
2022	0	7											7

2022 Valuations

Jan \$	Feb \$	Mar \$	Apr \$	May \$	Jun \$	Jul \$	Aug \$	Sep \$	Oct \$	Nov \$	Dec \$
	\$0.00	\$5,534,925.00									

February Permits for DSS, SHS Field House

NEW Single Family Building Permits Issued



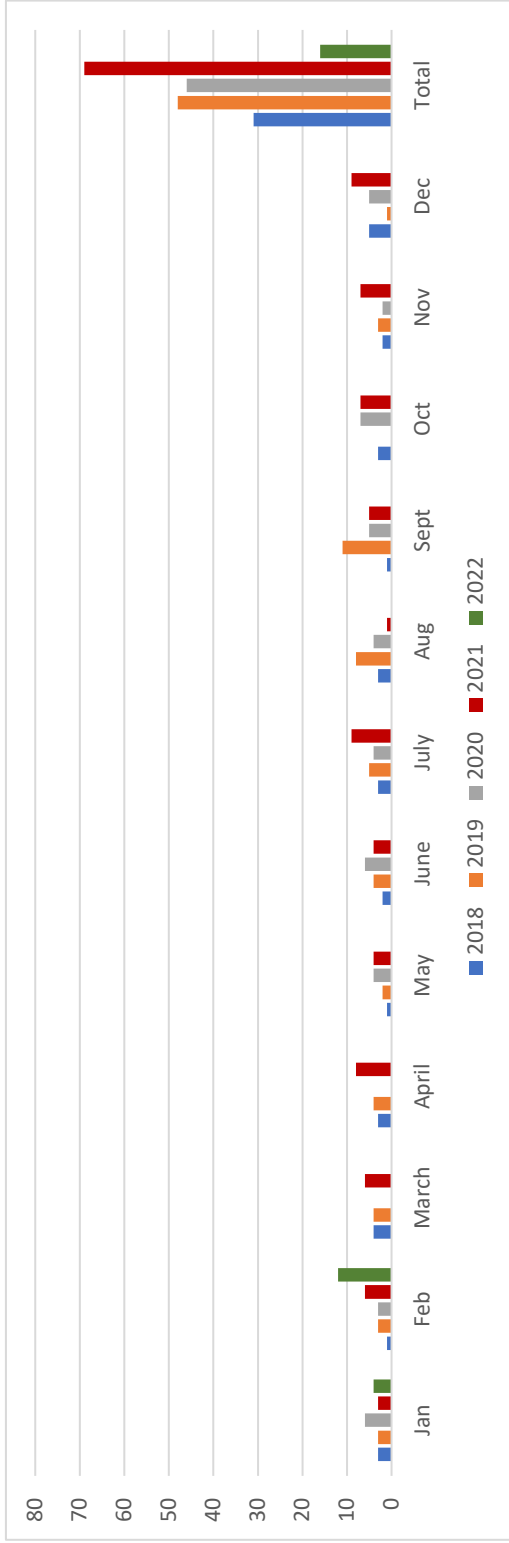
	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec	Total
2018	0	1	0	2	3	3	0	2	3	1	4	2	21
2019	0	4	2	3	2	0	2	3	4	2	1	8	31
2020	2	4	1	0	4	1	2	3	1	7	3	2	30
2021	2	11	5	5	1	3	5	6	1	1	11	9	60
2022	2	4											6

2022 Valuations

Jan \$	\$554,000.00	Apr \$	Jul \$	Oct \$
Feb \$	\$613,580.00	May \$	Aug \$	Nov \$
Mar \$		Jun \$	Sep \$	Dec \$

Details provided on attached report.

Single Family Renovation and Addition Building Permits Issued



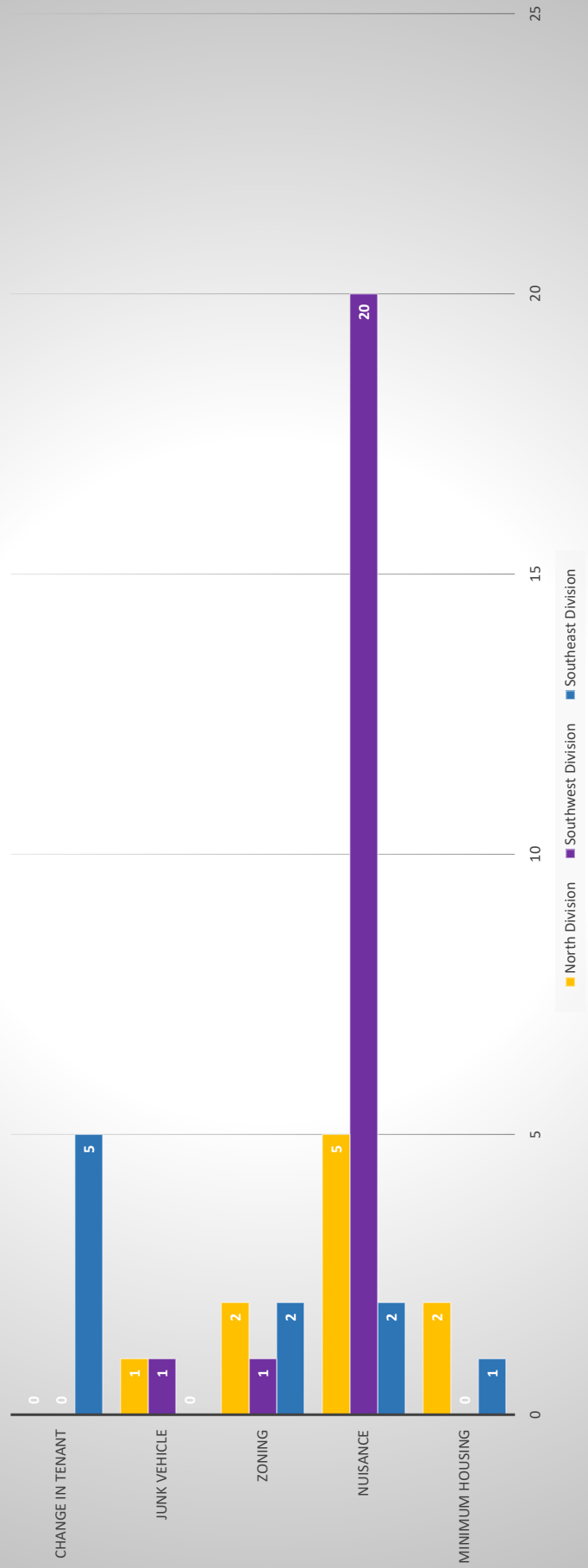
	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec	Total
2018	3	1	4	3	1	2	3	3	1	3	2	5	31
2019	3	3	4	4	2	4	5	8	11	0	3	1	48
2020	6	3	0	0	4	6	4	4	5	7	2	5	46
2021	3	6	6	8	4	4	9	1	5	7	7	9	69
2022	4	12											16

2022 Valuations

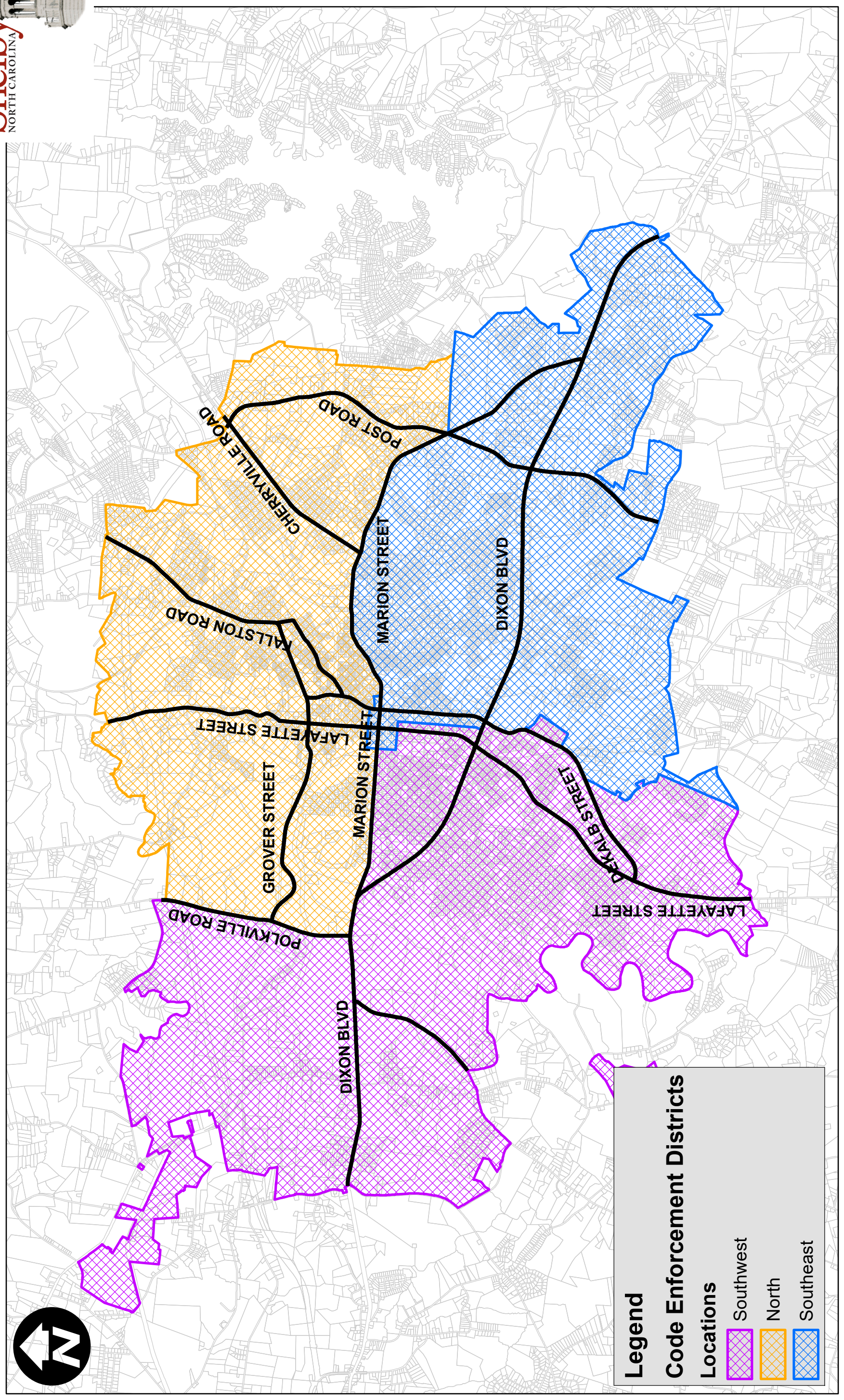
Jan \$	\$123,400.00	Apr \$	Oct \$
Feb \$	\$868,487.00	May \$	Nov \$
Mar \$		Jun \$	Dec \$
		Jul \$	
		Aug \$	
		Sep \$	

Details provided on attached report.

Code Enforcement Cases Started in January 2022



City of Shelby Code Enforcement Districts



11,000 5,500 0 11,000 Feet

1 in = 1 miles

Planning Report January 2022

Commercial Site Plan Reviews

- 230 East Dixon Boulevard – Shelby Field House
- 411 Cherryville Road – YMCA Gazebo
- Hamrick Street - Apartments

Residential Site Plan Reviews

- 510 Blanton Street
- 221 Broad Street
- 1021 Hunter Valley Road
- 959 Wendover Heights Drive
- 510 Kings Road
- 518 Kings Road
- 305 Wingate Court
- 712 Earl Road
- 907 Walnut Street
- 414 Atlantic Avenue
- 613 Gardner Street
- 501 Gardner Street
- 207 Garden View Lane
- 501-2 Gold Street

Subdivision Reviews

- None

Zoning Map Change Requests

- 810 East Dixon Boulevard
- 622, 624, and 630 North Post Road

Zoning Text Changes

- None

City of Shelby
Agenda Item Summary
April 4, 2022
Council Chambers

D. Unfinished Business

None

City of Shelby
Agenda Item Summary
April 4, 2022
Council Chambers

E. New Business

Agenda Item E-1

- 1) Resolution Authorizing Approval to Submit Grant Applications for State of North Carolina ARPA Funds for Water Resources Planning Projects: Resolution No. 28-2022

New Business Item: (Rick Howell, City Manager and David Hux, Water Resources Director)

- Memorandum dated March 29, 2022 from David Hux, Water Resources Director to Rick Howell, City Manager
- Resolution No. 28-2022

City Manager's Recommendation / Comments

Resolution No. 28-2022 is presented for City Council at this time. If approved this resolution would authorize the City Manager to execute and file an application for grant funding on behalf of the City to the State of North Carolina Division of Environmental Quality (DEQ) through appropriations made by the NC General Assembly from the American Rescue Plan Act (ARPA).

These funds would be specifically used for several water and wastewater system planning and engineering projects to include the following.

- Water and Wastewater Treatment Plant Asset Management Inventory and Tracking
- Water and Wastewater Treatment Plant Capacity Modeling and Rating
- Wastewater Collection System Outfall Surveying and Modeling
- Short and long term water and wastewater system planning

The proposed grant application would ask for an amount not to exceed \$400,000. At this time the City has been told there is no local match required. The specific scope will be further developed if an award is made.

Mr. Hux will be present to address any specific questions that City Council may have at this time.

It is recommended that Resolution No. 28-2022 be adopted and approved at this time.

Memorandum

To: Rick Howell; City Manager
Justin Merritt; Assistant City Manager

From: David Hux; Director of Water Resources *David Hux*

RE: **ARPA Grant Funds Application – Water Resources
Council Agenda for April 4, 2022**

Date: March 29, 2022

Background

The State of North Carolina has made additional funding available through the American Rescue Plan Act (ARPA) that will be administered through the North Carolina Department of Environmental Quality (DEQ) State Grant Program. This additional grant funding has been capped at \$400,000 and will provide funding for planning and construction projects related to water and wastewater systems.

Review:

City staff has identified several projects that we believe qualify for these funds including:

- Water and Wastewater Plant Asset Management Inventory and Tracking
- Water and Wastewater Treatment Plant Capacity Modeling and Rating
- Collection System Outfall Surveying and Modeling
- Short term and long-term system planning recommendations

Recommendation:

Staff recommends that Council authorize the submittal of up to four individual grant applications to NCDEQ for a total not to exceed a total \$400,000 for the projects listed above. Once completed these projects would aid the City with both short/long term planning for our Water and Sewer systems.

RESOLUTION NO. 28-2022

A RESOLUTION AUTHORIZING APPROVAL TO SUBMIT GRANT APPLICATIONS FOR STATE OF NORTH CAROLINA ARPA FUNDS FOR WATER RESOURCES PLANNING PROJECTS

WHEREAS, The Federal Clean Water Act Amendments of 1987 and the North Carolina the Water Infrastructure Act of 2005 (NCGS 159G) have authorized the making of loans and grants to aid eligible units of government in financing the cost of construction and studies of (state whether a wastewater treatment works, wastewater collection system, stream restoration, stormwater treatment, other “green” project, drinking water treatment works, and/or drinking water distribution system), and

WHEREAS, the City of Shelby has need for and intends to conduct studies on the Water Treatment Plant and Distribution System, Sewer Collection System and Wastewater Treatment Plant, and

WHEREAS, the City of Shelby intends to submit and request up to four (4) grant assistance applications totally not more than \$400,000 for these proposed projects.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHELBY, NORTH CAROLINA:

Section 1. That City of Shelby, the Applicant, will arrange financing for all remaining costs of the project, if approved for a State grant award.

Section 2. That City Manager, and successors so titled, is hereby authorized to execute and file an application on behalf of the City of Shelby with the State of North Carolina for grants to aid in the study of the projects described above.

Section 3. That the City Manager, and successors so titled, is hereby authorized and directed to furnish such information as the appropriate State agency may request in connection with such application or the project: to make the assurances as contained above; and to execute such other documents as may be required in connection with the application.

Section 4. That the Applicant has substantially complied or will substantially comply with all Federal, State, and local laws, rules, regulations, and ordinances applicable to the project and to Federal and State grants and loans pertaining thereto.

This resolution shall become effective upon its adoption and approval.

Adopted and approved this 4th day of April 2022.

O. Stanhope Anthony, III
Mayor

ATTEST:

Carol S. Williams
Interim City Clerk

APPROVED AS TO FORM:

Andrea Leslie-Fite
City Attorney

City of Shelby
Agenda Item Summary
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Council Chambers

Agenda Item E-2

- 2) Consideration of appointments to City advisory boards and commissions:
 - a. Shelby-Cleveland County Regional Airport Advisory Board

New Business Item: (Carol Williams, Interim City Clerk)

Summary of Available Information:

- Memorandum dated March 30, 2022 from Carol Williams, Interim City Clerk to Rick Howell, City Manager
- SCCRA Advisory Board 2022 Roster
- Applications from Robert Farrow and Matthew Albinger

City Manager's Recommendation / Comments

Volunteers are an essential part of the work the City performs each year. As always this is just a reminder that we all should work to recruit qualified and quality people to serve whenever possible. Solicitation of both qualified and interested citizens to serve on these important advisory boards remains a priority for 2022. I would challenge each of you to recruit viable candidates that possess the knowledge and willingness to serve during the coming months.

I cannot emphasize enough the importance of appointing quality people to these very important citizen boards and commissions. It is incumbent upon Council as the appointing authority to ensure members are responsible members of the community who will make decisions that reflect the established and recognized values of the City. These appointees after all reflect upon Council as the appointing authority as well as the City as they conduct business month to month.

**OFFICE OF THE
CITY CLERK**



Memo

To: Rick Howell, City Manager
From: Carol Williams, Interim City Clerk
Date: March 30, 2022
Re: Appointments to City Advisory Boards

BOARD REVIEW:

SHELBY-CLEVELAND COUNTY REGIONAL AIRPORT ADVISORY BOARD –

The terms of three incumbents, Jim Robinson, Stephen Jones, and Dicky Amaya concluded February 2022. All three incumbents wish to continue their service.

There are two applications on file in the Clerk's Office – Robert Farrow and Michael Albinger.

POSSIBLE ACTION:

SHELBY-CLEVELAND COUNTY REGIONAL AIRPORT ADVISORY BOARD –

Council can begin the nominating process or take appointive action for three new terms concluding February 2024.

Attachment:

- A. SCCRA Advisory Board Roster 2022

**SHELBY CLEVELAND COUNTY REGIONAL
AIRPORT ADVISORY BOARD 2022**

MEMBERS	ADDRESS	TERM EXPIRATION	PHONE NUMBER
Jim Robinson jim@jacksonwilliams.com	149 Lakemont Drive Shelby, NC 28150	February 2022	H: 704 480-1392 W: 704 482-0221
Dr. Stephen W. Jones swjskidoc@yahoo.com	164 North Shore Drive Cherryville, NC 28021	February 2022	H: 704 487-9485 W: 704 487-5228
Dicky Amaya dickyamaya@gmail.com	610 Schneck Street Shelby, NC 28150	February 2022	H: 704 482-9110
Richard Fletcher rpfletch@bellsouth.net	212 Deerchase Road Shelby, NC 28150	February 2023	H: 704 487-7316 C: 704 418-4095
Eric Bester ericbester@hotmail.com	P O Box 2026 Shelby, NC 28151	February 2023	H: 704 471-0415 W: 704 482-2424
Paul B. Hounshell Jr. drpaulbhj@yahoo.com	212 Vauxhall Drive Shelby, NC 28150	February 2023	H: 704 692-8825 W: 704 482-7739
Billy A. Wright bill.wright57@gmail.com	2612 Flagstone Court Shelby, NC 28152	February 2023	H: 704 481-1351 C: 828 817-4383
Deb Hardin deb.hardin@clevelandcounty.com	518 Lee Street Shelby, NC 28152		704 472-1626

Meetings are held once per quarter during each calendar year or as needed at 12:00 Noon, Shelby-Cleveland County Regional Airport Terminal Building, 830 College Road, Shelby, NC

Two (2) year appointments

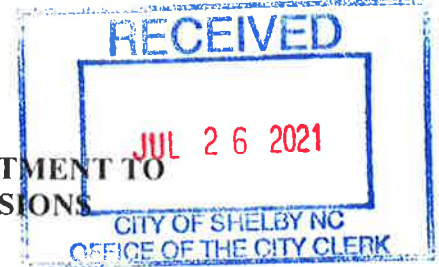
City Council Liaison: Emilie Bullock – Ward 1
1007 Castlewood Drive
Shelby, NC 28150
C: 828 447-2619
E-mail: emiliebullock@remax.net

Staffed by: Ben Yarboro, Director of Engineering Services, 704 669-2060
ben.yarboro@cityofshelby.com

Jack Poole, Airport Supervisor, 704 487-1161
jack.poole@cityofshelby.com



APPLICATION FOR APPOINTMENT TO
BOARDS AND COMMISSIONS



The Shelby City Council believes that all citizens should have the opportunity to actively participate in governmental decisions. One way of participating is by serving as a voluntary member of one of the City's boards, commissions, or committees as outlined below. If you have an interest in being considered for appointment, please complete the form below and mail it to the City Clerk, City of Shelby, P O Box 207, Shelby, NC 28151-0207 or email it to bernie.parduski@cityofshelby.com. If you have questions or need assistance, please call 704 669-6588. Thank you!

- Keep Shelby Beautiful Commission
- Shelby-Cleveland County Regional Airport Advisory Commission
- Shelby Alcoholic Beverage Control Board
- Shelby Zoning Board of Adjustment
- Shelby Firefighters Relief Fund Board of Trustees
- Shelby Housing & Redevelopment Advisory Board
- Shelby Parks & Recreation Advisory Commission
- Shelby Planning & Zoning Advisory Board

DATE 26 July 2021

NAME Matthew Albinger

ADDRESS (No P O Boxes please) 801 W. Warren St.

CITY / STATE / ZIP Shelby, NC 28150

DO YOU RESIDE WITHIN THE CITY OF SHELBY'S CORPORATE LIMITS?
yes

DO YOU RESIDE WITHIN THE CITY OF SHELBY'S EXTRATERRITORIAL JURISDICTION (ETJ)?
No

WARD 4

PHONE NUMBERS: Home 704 718-8998 Work 980 345-1374

EMAIL ADDRESS albmatt69@gmail.com

OCCUPATION Electrical Project Engineer

EDUCATIONAL BACKGROUND BSEE

BOARD OR COMMISSION INTERESTED IN:

1. Planning & Zoning Advisory Board
2. Housing & Redevelopment Advisory Board
3. Cleveland County Regional Airport Advisory Commission

OTHER COMMENTS:

SIGNATURE [Signature] DATE 26 July 2021



APPLICATION FOR APPOINTMENT TO BOARDS AND COMMISSIONS

The Shelby City Council believes that all citizens should have the opportunity to actively participate in governmental decisions. One way of participating is by serving as a voluntary member of one of the City's Boards, Commissions or Committees as outlined below. If you have interest in being considered for appointment, please complete the form below and mail it to the City Clerk, City of Shelby, and P.O. Box 207, Shelby, North Carolina 28151-0207.

- Shelby-Cleveland County Regional Airport Advisory Commission
- Shelby Alcoholic Beverage Control Board
- Shelby Appearance Advisory Commission
- Shelby Zoning Board of Adjustment
- Shelby Community Relations Council
- Shelby Fireman's Relief Fund Board of Trustees
- Shelby Housing & Redevelopment Advisory Board
- Shelby Parks & Recreation Advisory Commission
- Shelby Planning & Zoning Advisory Board
- *Other committees that may be formed by the Mayor and City Council

DATE July 11, 2019

NAME ROBERT H. FARROW

ADDRESS (No PO Boxes, please) 512 COUNTRY CLUB ACRES

CITY / STATE / ZIP SHELBY NC 28150

Handwritten note: 2 hard @ top 7/16/19

TELEPHONE (Home) 704-419-9787 (Work) —

EMAIL ADDRESS ROBERT@FARROW.ME

OCCUPATION RETIRED AIR TRAFFIC CONTROLLER

EDUCATIONAL BACKGROUND SOME COLLEGE

1975 SHS GRADUATE.

BOARD OR COMMISSION INTERESTED IN:

1. SHELBY-CLEVELAND COUNTY REGIONAL AIRPORT ADVISORY COMMISSION
2. _____
3. _____

OTHER COMMENTS:

I AM A SHELBY NATIVE, RETIRED NAVY CHIEF PETTY OFFICER AIR TRAFFIC CONTROLLER, ALSO RETIRED DEPT OF DEFENSE AIR TRAFFIC CONTROLLER. I HAVE RECENTLY RELOCATED BACK TO MY HOME TOWN OF SHELBY AND AM INTERESTED SERVING ON THE AIRPORT ADVISORY BOARD.

SIGNATURE

Frank H. Lee

DATE

7/11/19

City of Shelby
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Agenda Item E-3

- 3) **FIRST READING:** An Ordinance Amending Chapter 30 of The City Of Shelby Code Of Ordinances: Ordinance No. 20-2022

New Business Item: (Andrea Leslie-Fite, City Attorney)

- Memorandum dated March 29, 2022 from Andrea Leslie-Fite, City Attorney to Rick Howell, City Manager
- Ordinance No. 20-2022

City Manager's Recommendation / Comments

Ordinance No. 20-2022 is presented for City Council as a First Reading at this time. This ordinance amendment results from action taken by the North Carolina General Assembly amending NCGS 160-175.

The City Attorney has provided me with a memorandum of explaining the needed changes. She will address Council at this time and answer any questions you may have.

It is my recommendation that City Council adopt Ordinance No. 20-2022 on the first reading. A second reading and adoption at a subsequent meeting is required for the ordinance to go into effect.



To: Rick Howell, City Manager

From: Andrea Leslie-Fite, City Attorney

Date: March 29, 2022

Subject: Revisions of Chapter 30 of the City Code to Comply with amendments to N.C.G.S. §160A-175

Background:

N.C.G.S. §160A-175 as amended decriminalizes certain ordinances unless the municipality adds a provision to each section that the section can be enforced criminally, as a misdemeanor. Prior to this law, the City's ordinances were deemed misdemeanors if violated. In order to continue enforcing certain city ordinances as misdemeanors, each section will need to be updated to specifically enumerate misdemeanor enforcement. The proposed ordinance makes needed changes to update Chapter 30: Offenses and Miscellaneous Provisions following the review of the Code of Ordinances by City Staff. The proposed will require two reads prior to adoption.

Various other sections of the Code will require review and subsequent amendment, including expressly de-criminalizing provisions in other chapters regarding the regulation and licensing of businesses, unsafe buildings, building setbacks, outdoor advertising, and trees.

Recommendation

It is recommended that City Council, following two reads of the proposed ordinance, adopt the Ordinance entitled: An Ordinance Amending Chapter 30 of the Shelby City Code of Ordinances

ORDINANCE NO. 20-2022

AN ORDINANCE AMENDING CHAPTER 30 OF THE
CITY OF SHELBY CODE OF ORDINANCES

WHEREAS, the Shelby City Council deems it prudent and necessary to update the Code of Ordinances to reflect new conditions and changed circumstances; and

WHEREAS, N.C.G.S. 160A-175 provided that effective December 1, 2021 a violation of a city ordinance may be a misdemeanor as provided by N.C.G.S. § 14-4 only if the City specifies such in the ordinance; and

WHEREAS, prior to December 1, 2021 state law provided that the violation of a city ordinance is a misdemeanor unless the City otherwise provides;

WHEREAS, the Shelby City Council intends for certain ordinance violations to continue to be punishable as a misdemeanor;

WHEREAS, Part XIII of Senate Bill 300/Session Law 2021-138 expressly prohibits criminal penalties for the regulation and licensing of businesses and trades; and

WHEREAS, Part XII of Senate Bill 300/Session Law 2021-138 expressly prohibits criminal penalties for the regulation of trees.

NOW, THEREFORE, BE IT RESOLVED that:

Section 1. Chapter 30 of the City of Shelby Code of Ordinances be amended as follows:

Sec. 30-1. Admission charge, nonpayment.

(b) A violation of this section is punishable as a misdemeanor.

Sec. 30-2. Distributing handbills, circulars.

(b) A violation of this section is punishable as a misdemeanor.

Sec. 30-3. Loitering.

(c) A violation of this section is punishable as a misdemeanor.

Sec. 30-4. Skating.

(4) A violation of this section is punishable as a misdemeanor.

Sec. 30-5. Sale, use of alcoholic beverages on city property.

A violation of this section is punishable as a misdemeanor.

Sec. 30-6. Urban archery deer hunting.

- (i) A violation of this section is punishable as a misdemeanor.

Sec. 30-41. Injuring, damaging.

- (c) A violation of this section is punishable as a misdemeanor.

Sec. 30-71. Discharging firearms, air rifles.

- A violation of this section is punishable as a misdemeanor.

Sec. 30-73. Fire bombs, Molotov cocktails.

- (d) A violation of this section is punishable as a misdemeanor.

Sec. 30-74. Throwing missiles.

- A violation of this section is punishable as a misdemeanor.

Sec. 30-111. Obscenity.

- A violation of this section is punishable as a misdemeanor.

Section 2. The ordinance shall become effective upon its adoption and approval.

ADOPTED AND APPROVED this the 4th day of April, 2022.

O. Stanhope Anthony, III
Mayor

ATTEST:

Carol Williams
Interim City Clerk

APPROVED AS TO FORM:

Andrea Leslie-Fite
City Attorney

City of Shelby
Agenda Item Summary
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Agenda Item: F

City Manager's Report

I will report to Mayor and Council on a number of ongoing projects and issues. The projects and issues reported upon are intended to be for your information and do not necessarily require action by Council.

Agenda Item: G

Council Announcements and Remarks

H. Adjournment:

To adjourn a meeting of City Council, a majority of the Council members must vote for a motion to adjourn.

- 1) Motion to adjourn